



YOUNGSTOWN
NEIGHBORHOOD
DEVELOPMENT CORPORATION

 www.yndc.org  330.480.0423  820 Canfield Road, Youngstown, Ohio 44511

Mineral Springs Avenue One Story Housing Design-Build Request for Proposals March 31, 2021

The Youngstown Neighborhood Development Corporation (YNDC) is seeking proposals from qualified General Contractors to provide comprehensive design-build services for the construction and related site work for two (2) single-family residences to be located on individual vacant lots along Mineral Springs Avenue in the City of Youngstown. The two single-family residences are to be of identical design with minor variations required for site adaptation. Each single-family residence includes a one-story, 1,275sf house on a concrete slab, covered front porch, and a single-story, 12' by 20' minimum detached garage. Conceptual site plan and elevations have been provided for reference to provide an example of owner design preferences. Both single-family residences are to be constructed in tandem. Construction is scheduled for the summer of 2021 with a completion date to be agreed upon between the Contractor and Owner.

The selected General Contractor will enter into an Owner-Contractor agreement to provide all necessary design services and construction to complete both residences by an agreed-upon completion date.

Project Location:

The project's two building sites are as follows. Surveys shall be provided.

- Parcel ID # 53-136-0-036.00-0 (734 Mineral Springs Avenue)
- Parcel ID # 53-136-0-049.00-0 (755 Mineral Springs Avenue)

Design/Construction Criteria:

The following items constitute the minimum requirements for the project's design and construction.

- Site:
 - Siting of houses and garages are to align with existing neighborhood setbacks per site plan provided.
 - Clear sites of all vegetation and rough grade as needed; new grading shall not affect storm water drainage on adjacent properties. The sites have been cleared and have minimal vegetation.
 - Excavate for new building construction.
 - Utility services for electric, natural gas, water, and sanitary.
 - Underground storm water drainage.
 - Single lane concrete driveway and curb-cut.
 - Concrete front porch along full frontage of house with zero step front entry.
 - Side door with sidewalk access from driveway with zero step front entry.
 - Wood privacy fencing for rear yard.



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Youngstown Neighborhood
Development Corporation



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- Final grading of clean topsoil with hydro-seeded lawn.
- Minimal foundation landscaping beds.
- General House Criteria:
 - Total Area of 1,275 sf
 - One story on concrete slab
 - Open concept living area and kitchen
 - Two bedrooms with closets
 - Two full bathrooms
 - Coat closet
 - Laundry and utility room
- House Exterior & Basement:
 - All construction materials and methods are to be compliant with the Ohio Residential Code
 - Concrete slab
 - Conventional wood framing throughout
 - Fiberglass batten insulation throughout
 - Exterior siding and trim to include cement siding with products by JamesHardie
 - Vinyl windows on all sides of house – Craftsman style
 - Insulated exterior doors with all hardware – Craftsman style
 - Entry doors of 36” for wheelchair access
 - Paint exterior doors per owner color preference
 - Forty year dimensional shingle roof
 - Aluminum gutters & downspouts connected to underground storm water
- House Interior:
 - All construction materials and methods are to be compliant with the Ohio Residential Code
 - Conventional wood framing throughout
 - All exposed wall and ceiling surfaces on the first and second floors are painted gypsum board
 - All flooring is high grade vinyl plank
 - Bathroom tub and shower surround is fiberglass
 - All interior doors are paneled and of painted solid composite with all hardware – Craftsman style
 - Doors, windows, and passages are trimmed with painted wood – Craftsman style
 - Painted wood baseboard throughout – Craftsman style
 - Painted wood cabinetry with all hardware in kitchen and bathrooms
 - Closet shelving with hanging rod
 - Bathroom accessories include toilet paper holder, towel rod, robe hook, and mirror above vanity
- House HVAC, Plumbing, & Electrical:
 - All design, equipment, materials, and installation for HVAC, Plumbing, & Electrical work is to be compliant with the Ohio Residential Code
 - Gas fired high efficiency furnace with AC
 - Insulated ductwork
 - Combination exhaust fan and light fixture for all bathrooms
 - Exhaust for stove
 - Electric for stove
 - Gas fired high efficiency direct vent water heater
 - Plumbing connections and fixtures include:
 - Kitchen: sink with faucet

- Full Bathroom: WC, lavatory with faucets, and bathtub and shower with faucets
 - Water supply and drain for laundry washer and dishwasher
 - Two frost proof exterior faucets
 - Access panels for bathroom plumbing
- 120/240V, 1PH, 3W electrical service
- Power all HVAC equipment
- Power all appliances
- Code required wall power outlets
- One exterior power outlet on front porch
- LED Lighting fixtures throughout interior including basement and closets
- LED Exterior lighting at front porch, rear patio and any other entry door
- Detached Garage:
 - 12' by 20' minimum detached garage
 - All construction materials and methods are to be compliant with the Ohio Residential Code
 - Overhead door
 - CMU foundation walls and concrete slab floor with sealant
 - Conventional wood framing throughout – no insulation
 - Exterior siding and trim to include cement siding with products by JamesHardie
 - No windows
 - One metal man door with all hardware – Craftsman style
 - Paint exterior doors per owner color preference
 - Forty year dimensional shingle roof
 - Aluminum gutters & downspouts connected to underground storm water
 - No interior finishes – all exposed framing
 - No HVAC
 - Plumbing limited to interior floor drain
 - Electrical includes:
 - Power for overhead door
 - Power outlets
 - Minimal LED interior and exterior lighting

Administrative:

- Selected Contractor shall enter into an Owner/Contractor Agreement with a fixed Total Contract Sum to include all design-build services for both houses.
- Total Contract Sum shall be based on a final design including full specifications as agreed upon by Owner and Contractor.
- Total Contract Sum shall cover all Contractor's expenses including but not limited to:
 - Design and construction costs
 - Overhead & profit
 - Permit & inspection fees
 - Insurance
- Changes Orders: The Total Contract Sum can be altered only through Change Orders approved by the Owner and the Contractor. All change orders must be approved prior to changing contracted work.
- Contractor is responsible for all sub-contractors, materialmen, tradesmen, and other vendors.
- Contractor is responsible for securing Certificate of Occupancy for both residences.

- Contractor shall maintain throughout the Contract and provide proof of Comprehensive General Liability insurance with an umbrella policy for a limit of \$1,000,000 per occurrence, \$2,000,000 aggregate.
- Contractor shall maintain throughout the Contract and provide proof of Workers Compensation Insurance.
- Contractor shall meet with Owner on-site a minimum of once a week to review work in-place, future work, and construction schedule and to address any questions or concerns from either party.

Proposal Process:

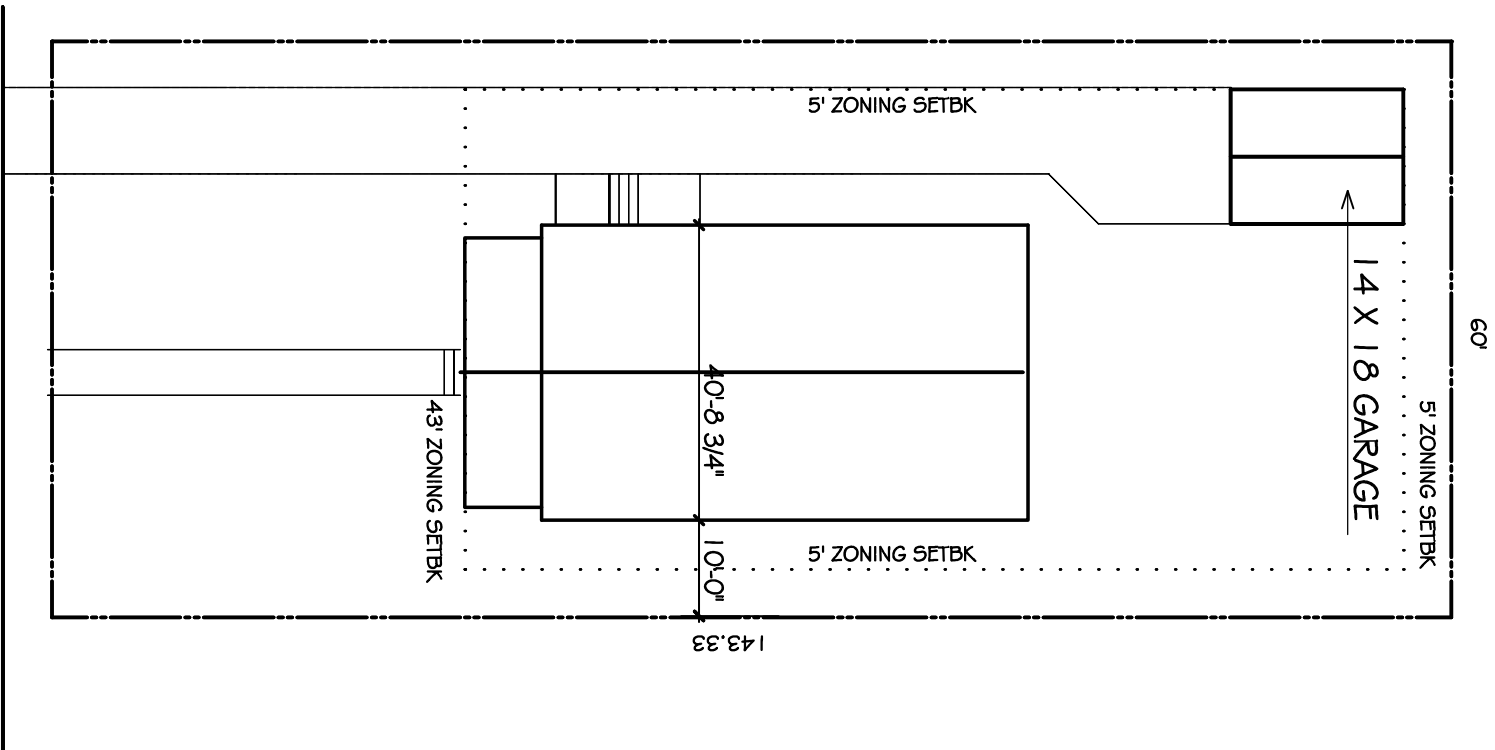
- Contractors shall contact the Owner to affirm their intent to submit a proposal.
 - Owner Contact: **Tiffany Sokol**
 - Contact Information: **Tiffany Sokol, Housing Director**
Youngstown Neighborhood Development Corporation (YNDC)
330.480.0423 office
330.720.8599 cell
tsokol@yndc.org email
- Contractors shall address any questions they may have regarding this RFP and their final submittal to the Owner.
- Any changes to the scope-of-work described in the RFP that may occur prior to the submittal deadline shall be distributed to all interested Contractors to be incorporated into their proposals.
- **Proposals shall be delivered to the Owner, Youngstown Neighborhood Development Corporation in a sealed envelope no later than noon, Monday, May 3, 2021.** Deliver proposals to the following address:
 - Youngstown Neighborhood Development Corporation**
820 Canfield Road
Youngstown, Ohio 44511
- Proposals shall include the following documentation:
 - Drawings of prototypical residence including site plan, floor plans, and elevations describing both house and garage
 - List of material specifications
 - Total Contract Sum for Design-Build services as described in the Administrative portion of this RFP. Total Contract Sum shall be written on Contractor's company letterhead, signed by Contractor and notarized.
 - Proof of Insurance and Workers Compensation Insurance

FANIRO ARCHITECTS, INC.
505 SOUTH MAIN ST.
POLAND, OHIO

PHONE: 330 747 2800

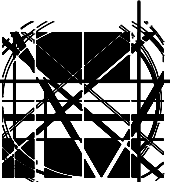
SHEET NO. Z-1
PROJ. NO.

DATE 223MAR 2021
REV.



734 MINERAL SPRINGS
SCALE 1" = 20'
LOT 62436/53-136-0-036

YNDC MINERAL SPRINGS HOUSING
YOUNGSTOWN OHIO

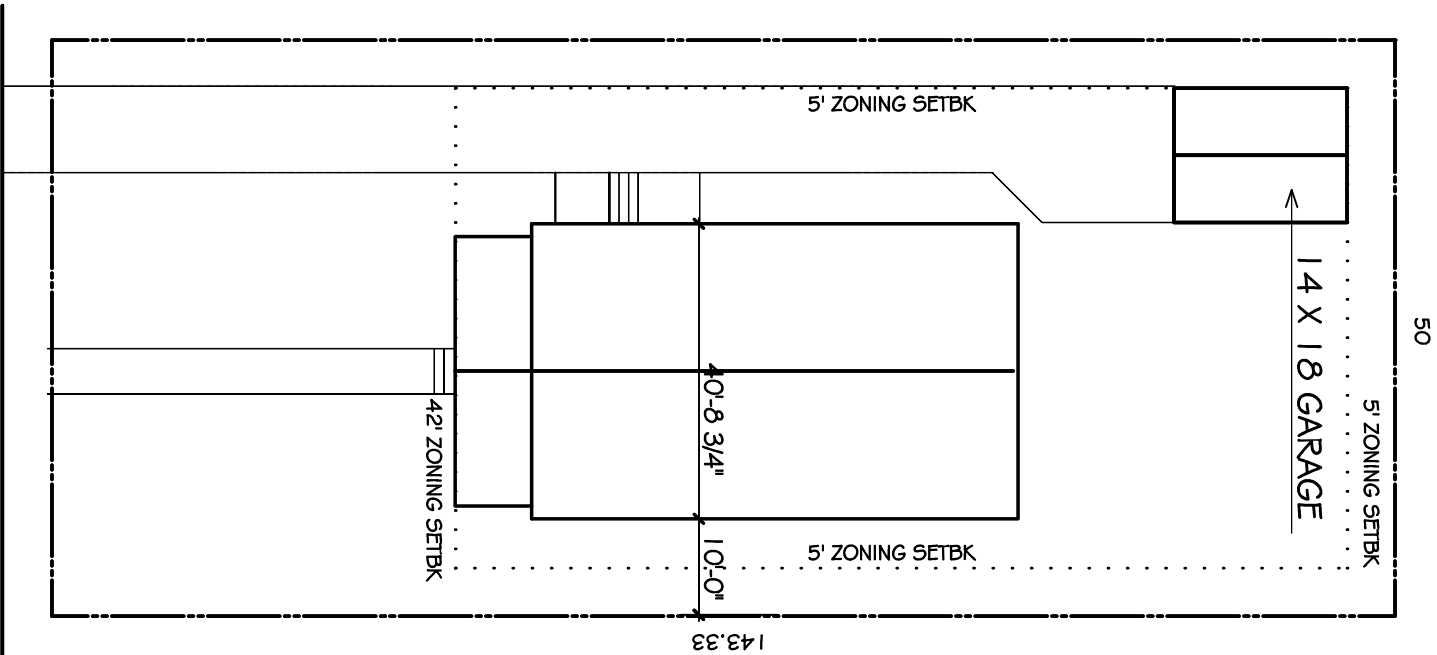


FANIRO ARCHITECTS, INC.
503 SOUTH MAIN ST.
POLAND, OHIO

PHONE: 330 747 2800

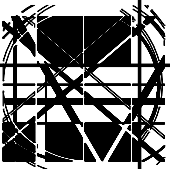
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PROJ. NO.

DATE 223MAR 2021
RVY.

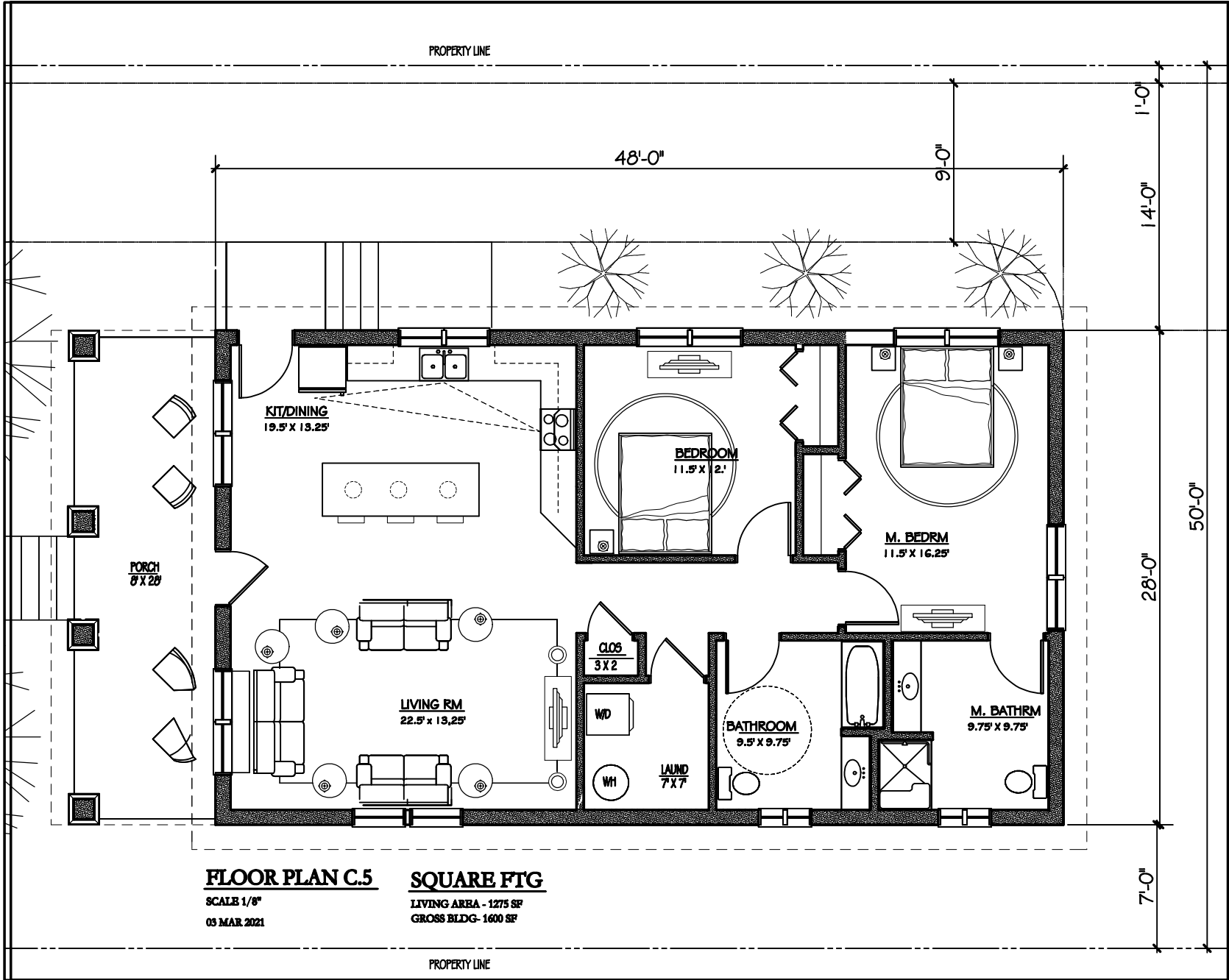


755 MINERAL SPRINGS
SCALE 1" = 20'
LOT 22575/53-136-0-050

YNDC MINERAL SPRINGS HOUSING
YOUNGSTOWN OHIO



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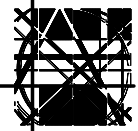


FLOOR PLAN C.5
 SCALE 1/8"
 03 MAR 2021

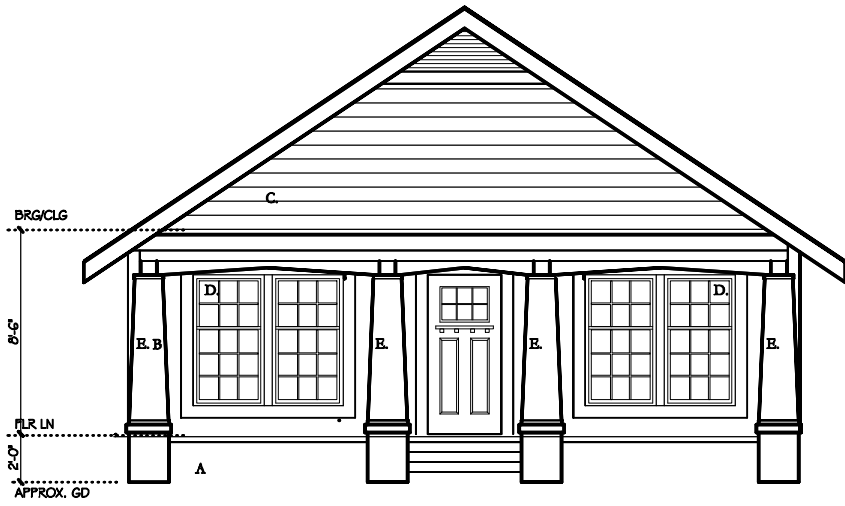
SQUARE FTG
 LIVING AREA - 1275 SF
 GROSS BLDG - 1600 SF

YNDC - NEW PROTOTYPE HOUSING

MINERAL SPRINGS AVE.
 YOUNGSTOWN, OHIO



DATE: 03/24/21 11:00 AM PROJECT: YOUNGSTOWN, OHIO - YOUNGSTOWN HOUSING PROJECT SHEET: ELEVATION - STREET VIEW ELEVATION - 1/8" SCALE

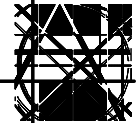


STREET VIEW ELEVATION

SCALE 1/8"

LIST OF PROPOSED BUILDING MATERIALS

- A. FOUNDATION WALL
- B. 4" PREFINISHED CEMENTIOUS LAP SIDING & TRIM
- C. 8" PREFINISHED CEMENTIOUS LAP SIDING & TRIM
- D. PELLA SERIES 250 COTTAGE & AWNING WDWS
- E. PREFINISHED CEMENTIOUS FLAT BOARD FALSEWORK
- F. DIMENSIONAL ASPHALT SHINGLE ROOFING

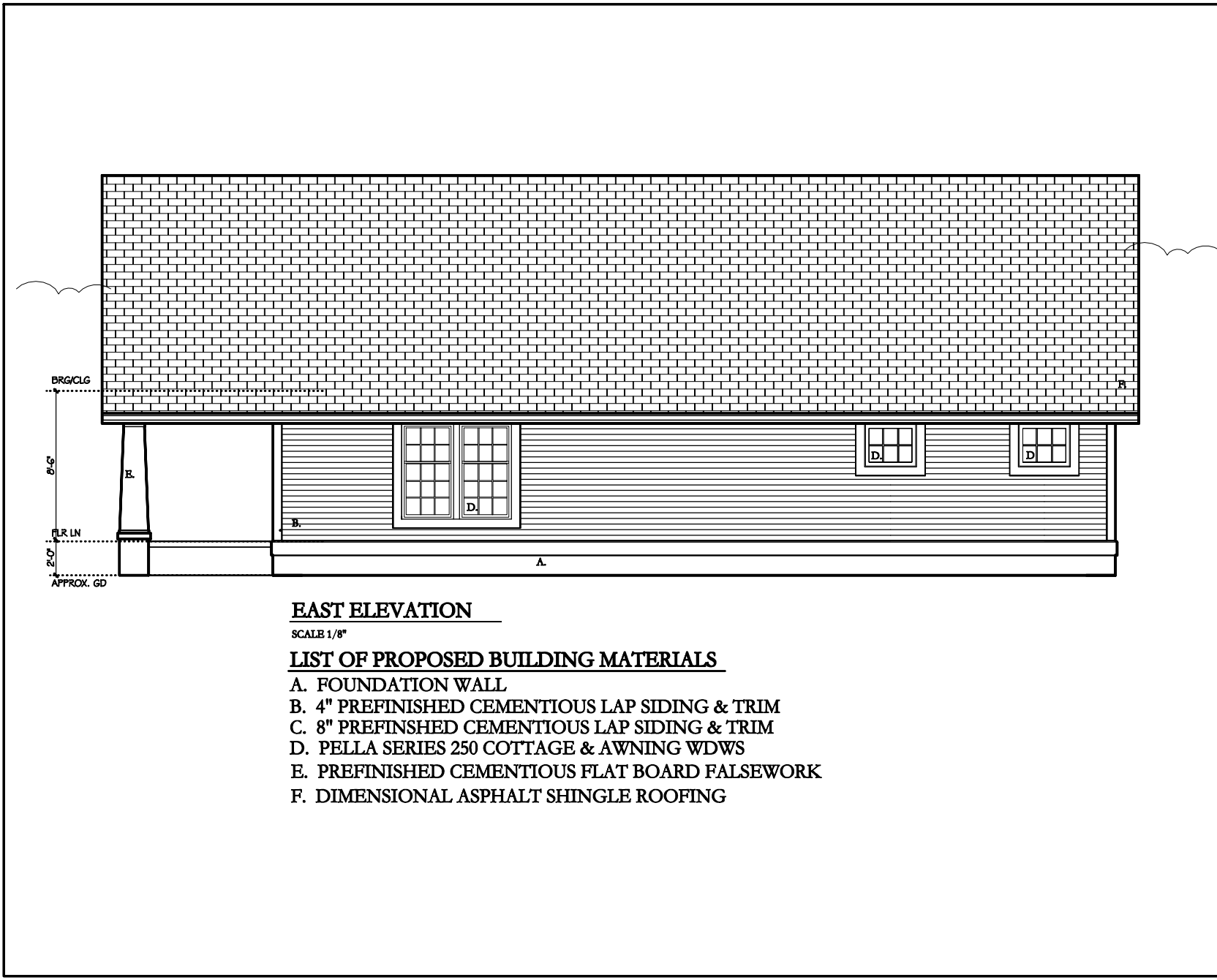


YNDC -NEW PROTOTYPE HOUSING

MINERAL SPRINGS AVE.

YOUNGSTOWN, OHIO

CLUBBONROAD FARMINGTONMINERAL SPRINGS HOUSING PROJ. MARCH 2021 MINERAL SPRINGS ELEVATION (RCD) - S.E.L.T.A.D.
SHEET NO. 3



EAST ELEVATION

SCALE 1/8"

LIST OF PROPOSED BUILDING MATERIALS

- A. FOUNDATION WALL
- B. 4" PREFINISHED CEMENTIOUS LAP SIDING & TRIM
- C. 8" PREFINISHED CEMENTIOUS LAP SIDING & TRIM
- D. PELLA SERIES 250 COTTAGE & AWNING WDWS
- E. PREFINISHED CEMENTIOUS FLAT BOARD FALSEWORK
- F. DIMENSIONAL ASPHALT SHINGLE ROOFING

YNDC - NEW PROTOTYPE HOUSING

YOUNGSTOWN, OHIO

MINERAL SPRINGS AVE.

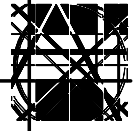
FANIRO ARCHITECTS INC.

509 SOUTH MAIN ST. POLAND, OH 44514

PHONE: 330 747 2800

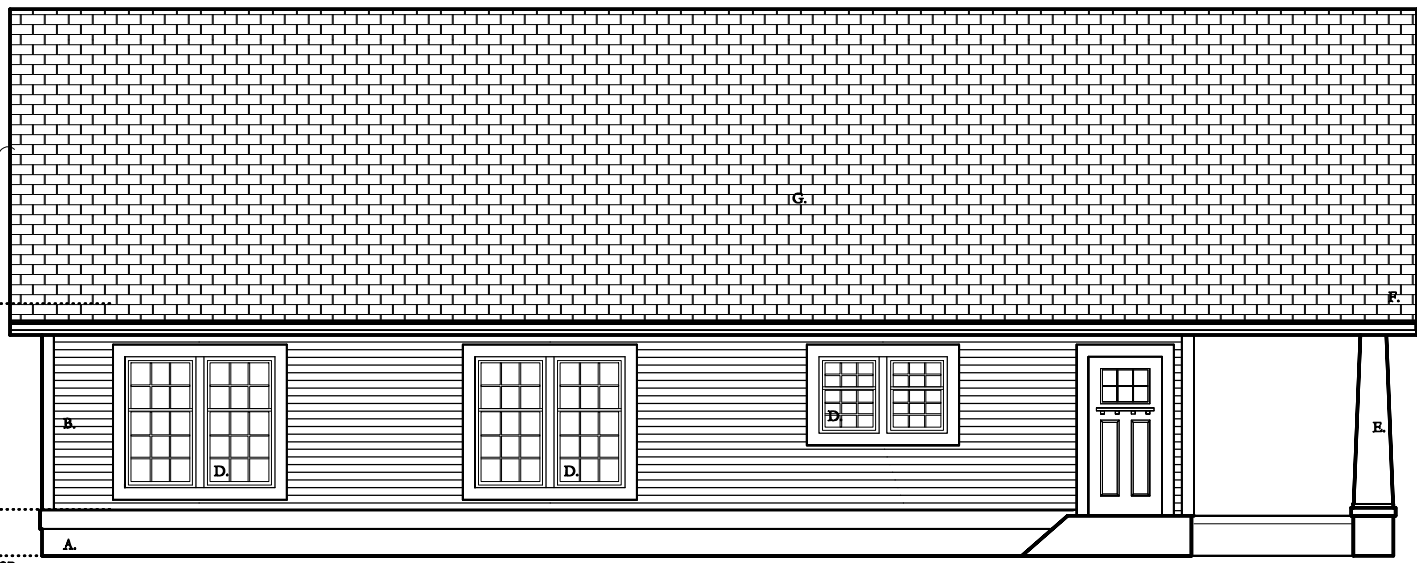
SHEET NO. EL-2 | DATE 24 MAR 2021

PROJ. NO. 2002 | REV.



DRAWN BY: B. FANIRO ARCHITECTS INC. PROJECT: YOUNGSTOWN, OHIO. SHEET: YNDC-NEW PROTOTYPE HOUSING. SCALE: 1/8" = 1'-0". DATE: 24 MAR 2021. SHEET NO: HL-3. PROJ. NO: 2002. REV: 00. 8 1/2" x 11" (SHEET)

BRG/CLG
8'-6"
PLR LN
2'-0"
APPROX. GD



REAR YARD ELEVATION

SCALE 1/8"

LIST OF PROPOSED BUILDING MATERIALS

- A. FOUNDATION WALL
- B. 4" PREFINISHED CEMENTIOUS LAP SIDING & TRIM
- C. 8" PREFINISHED CEMENTIOUS LAP SIDING & TRIM
- D. PELLA SERIES 250 COTTAGE & AWNING WDWS
- E. PREFINISHED CEMENTIOUS FLAT BOARD FALSEWORK
- F. DIMENSIONAL ASPHALT SHINGLE ROOFING

YNDC -NEW PROTOTYPE HOUSING

YOUNGSTOWN, OHIO

MINERAL SPRINGS AVE.

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