



YOUNGSTOWN
NEIGHBORHOOD
DEVELOPMENT CORPORATION



neighborhood CONDITIONS report



Tom Hetrick

Youngstown Neighborhood Development Corporation

Bill D'Avignon

City of Youngstown Community Development Agency

Planning Process Overview

Neighborhood Conditions Report

- Part 1: Citywide analysis
- Part 2: Individual neighborhood analysis

Public engagement process to prioritize issues at the city and neighborhood levels

- Meetings with city officials and stakeholders
- Neighborhood cluster meetings with residents across city
- A Community Input Report
- Align CDBG allocation with identified priorities

Development of citywide strategies that will positively impact all neighborhoods

Purpose of Planning Meetings

- Review overall planning process
- Review summary of Neighborhood Conditions Report
- Obtain feedback and input on neighborhood assets, priorities for improvement, and any other critical information, given the city's limited resources
- Review preliminary feedback from neighborhood planning meetings

Resident feedback and input will inform the priorities for planning and will also be used to inform the City of Youngstown Community Development Agency's One Year Action Plan.

Neighborhood Conditions Report

A data-driven conditions assessment for every neighborhood in the city

Data from various sources were compiled and mapped for each census tract

US Census
Mahoning County

City of Youngstown
US Postal Service

Relevant planning documents were also analyzed

Youngstown Redevelopment Code

The Youngstown Plan by PFM

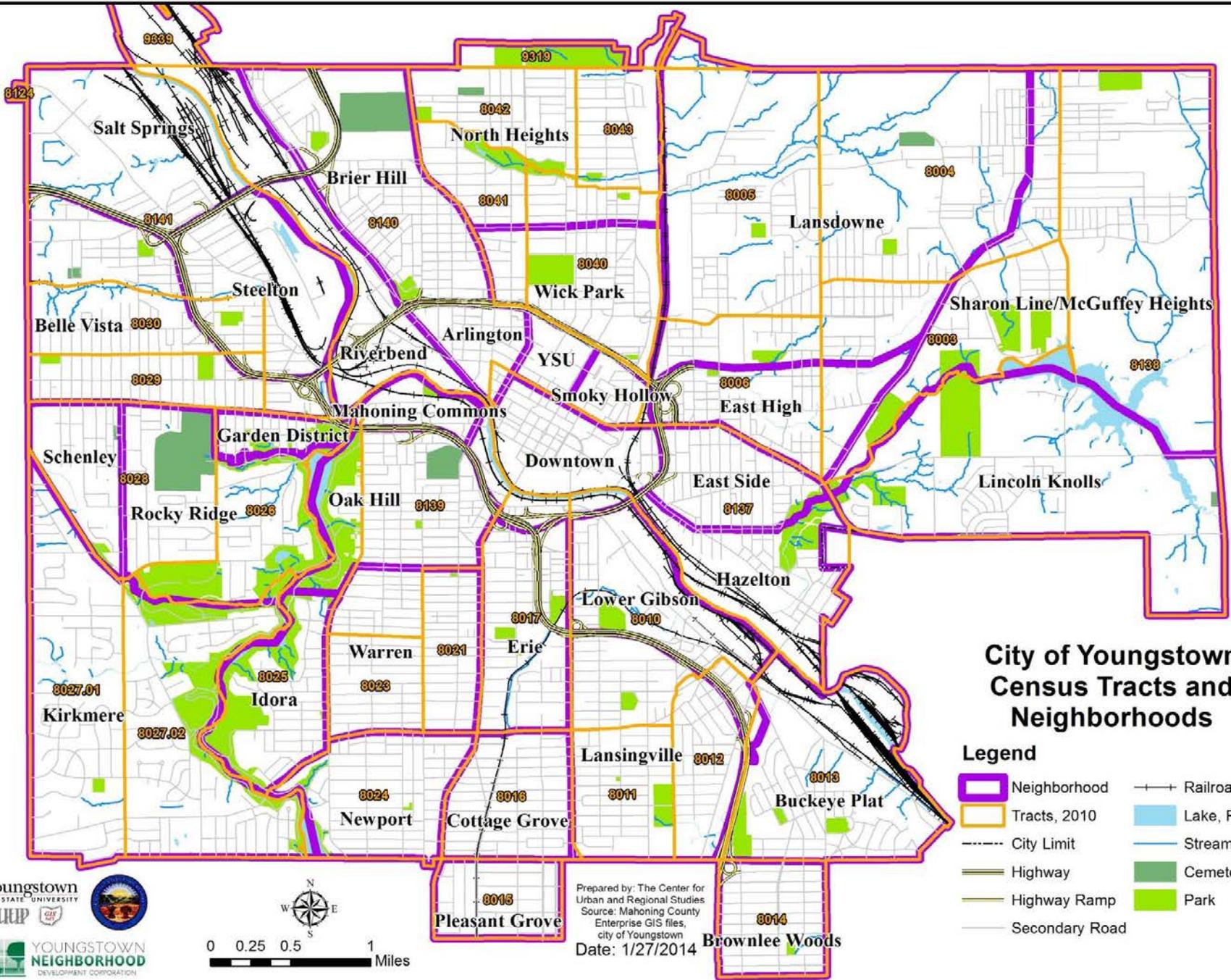
HUD Demolition Process Improvement Report

The Youngstown Parks, Facilities, Open Space, and Program Analysis

Regenerating Youngstown and Mahoning County through Vacant Property Reclamation

Youngstown 2010 Plan

Existing Neighborhood Plans

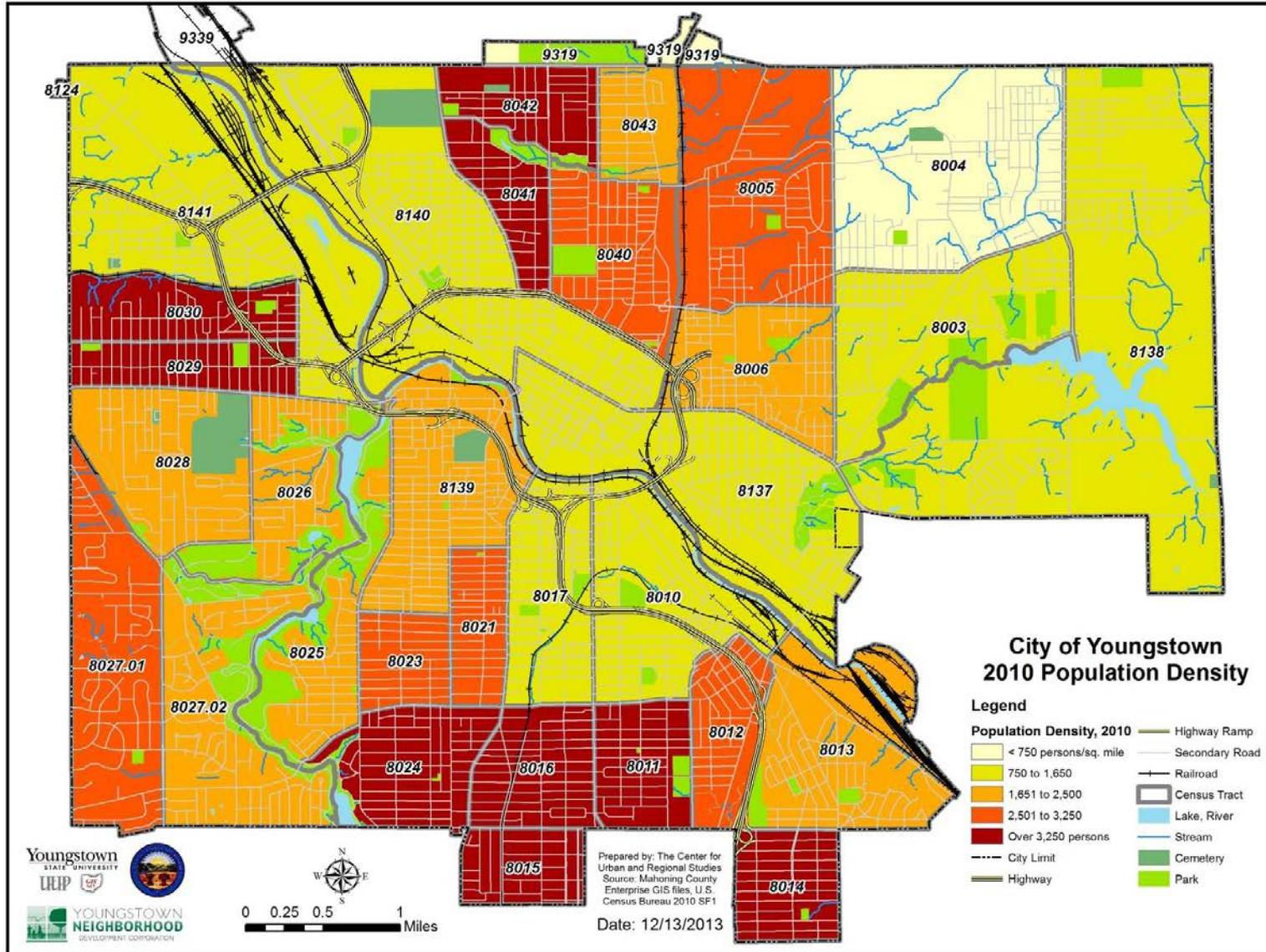


Census tract:

A small geographic area used by the US Census to collect data. Census tracts sometimes correspond to established neighborhood boundaries, but not always. Most US Census data is available at the census tract level, making it easy for comparisons.

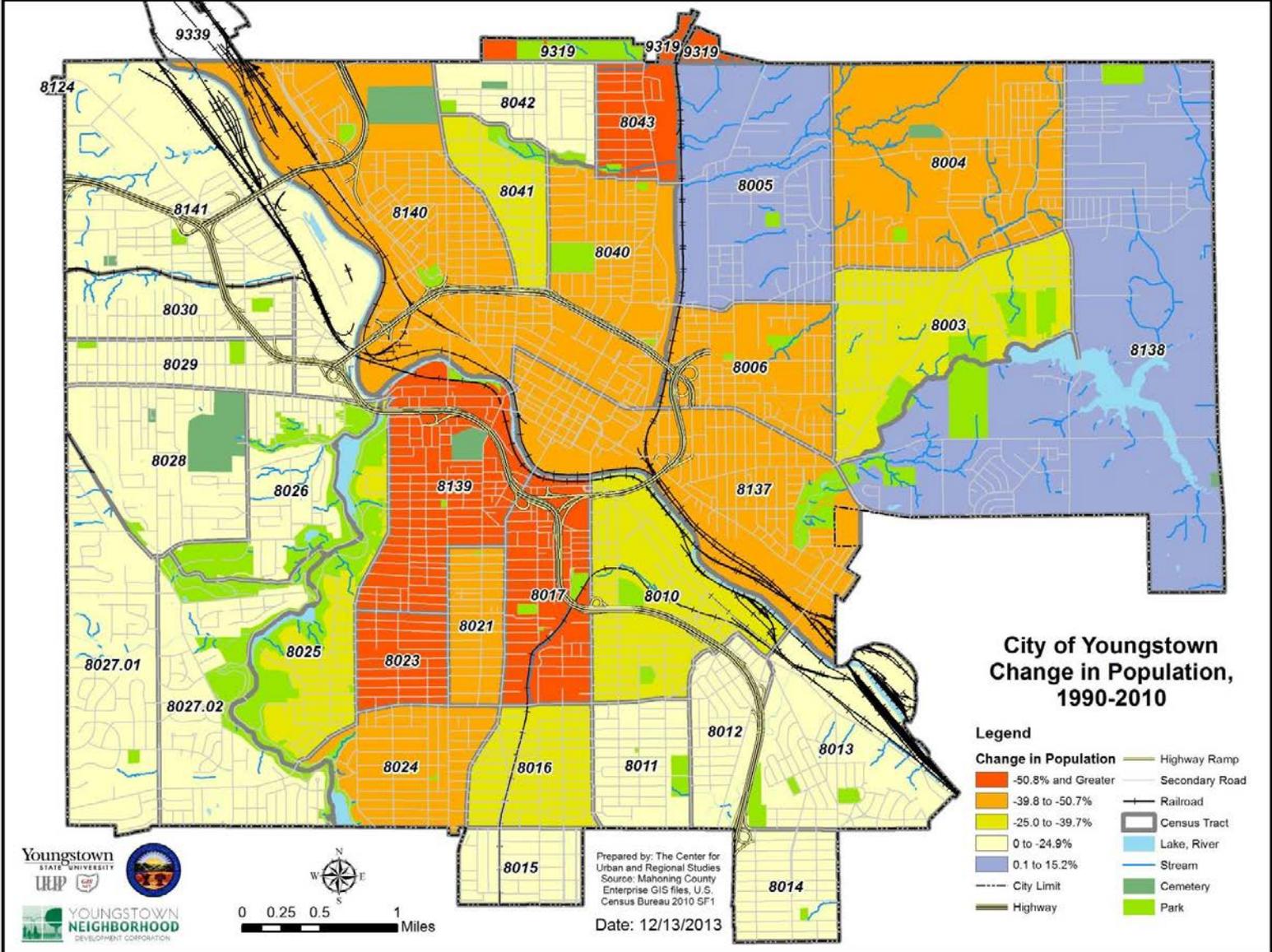
Population Density 2010

High – **Red/Orange**
Low – **Yellow**



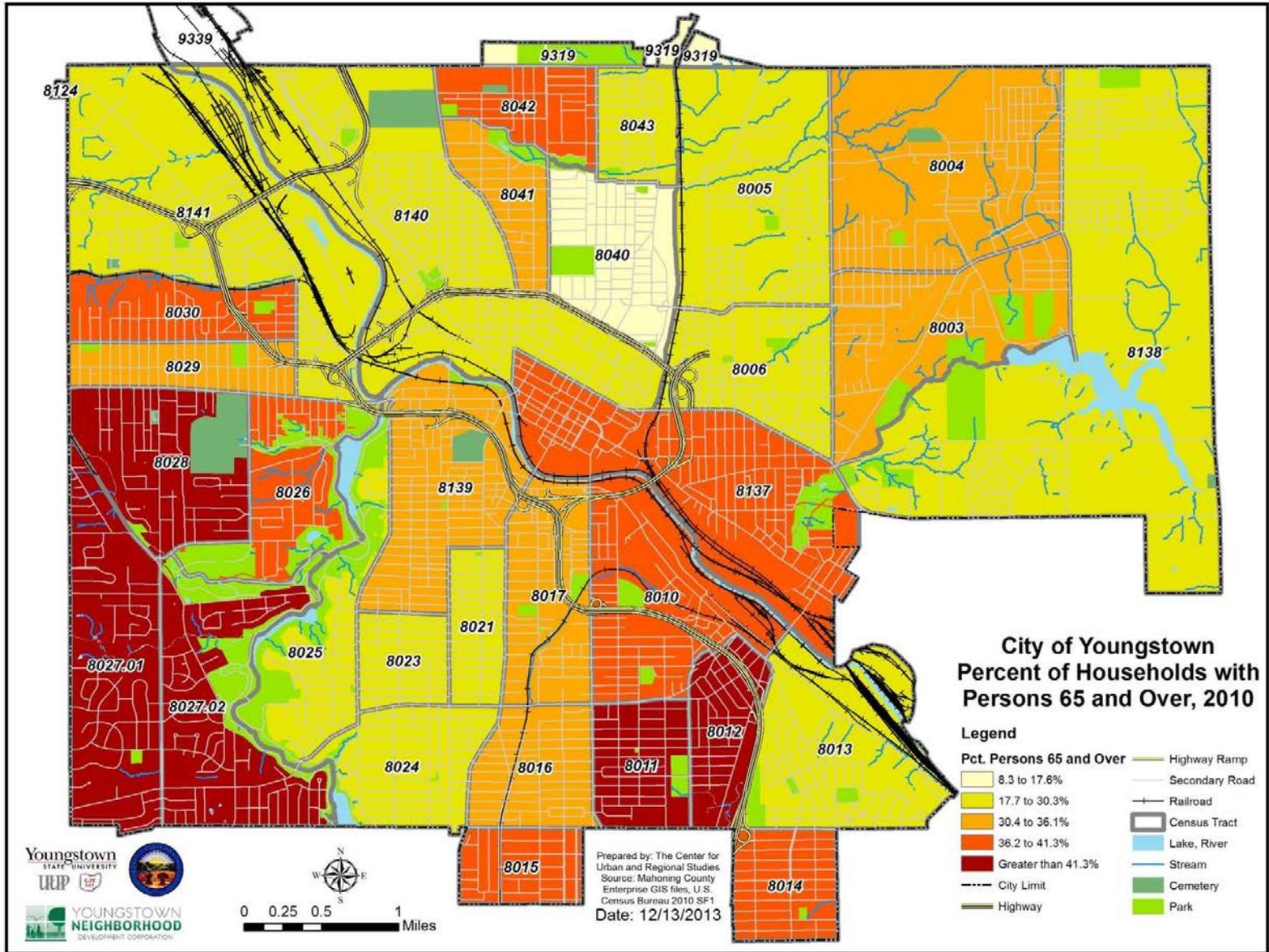
Change in Population 1990 to 2010

Increase – **Blue** Slight decrease – **Beige**
 Greatest decrease – **Red/Orange**



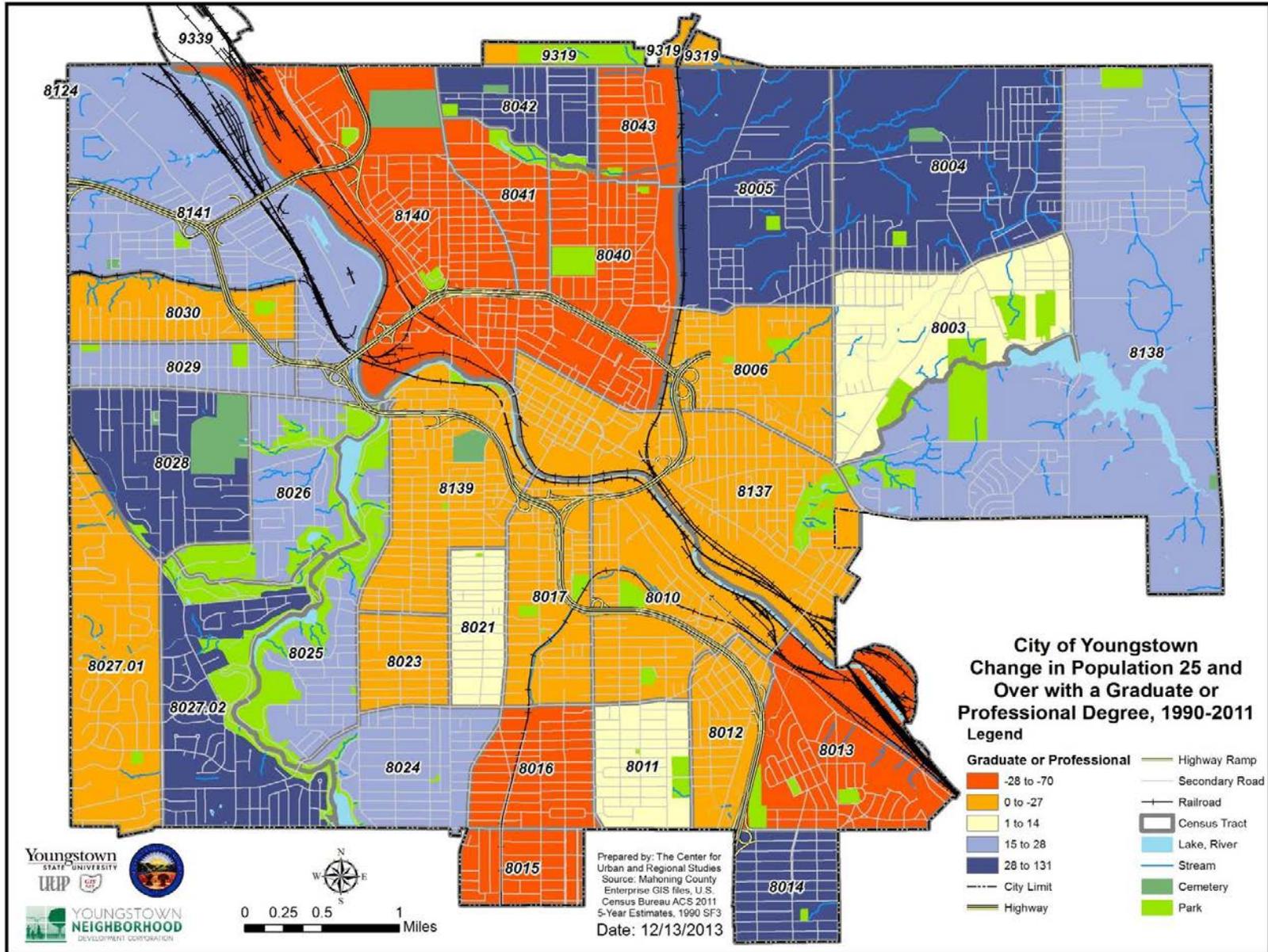
Percentage over 65
2010

High – Red/Orange
Low – Yellow/Beige



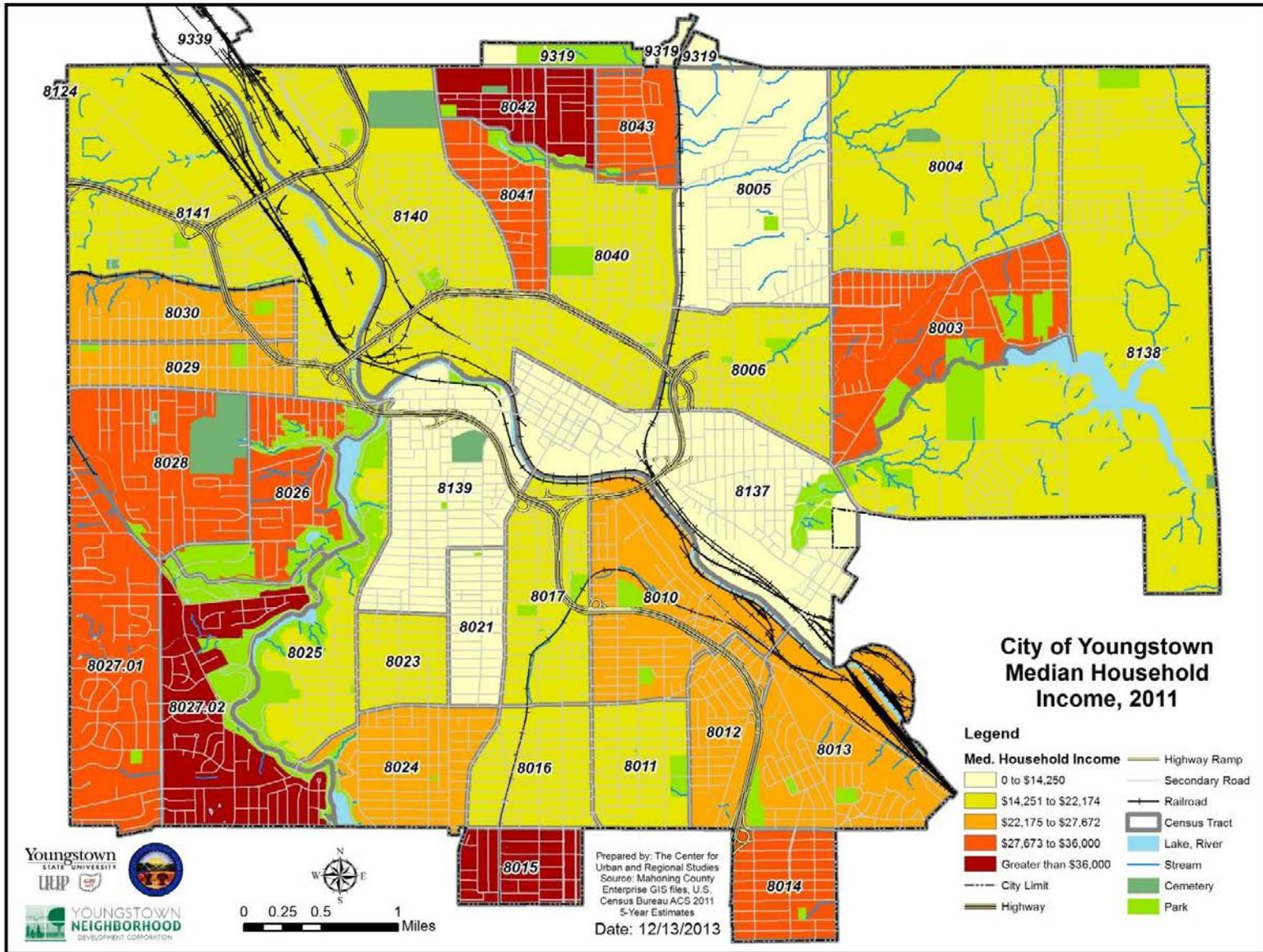
1990-2010 Change in # with Graduate or Professional Degree

Increase – **Blue/Light Blue**
 Decrease – **Red/Orange**



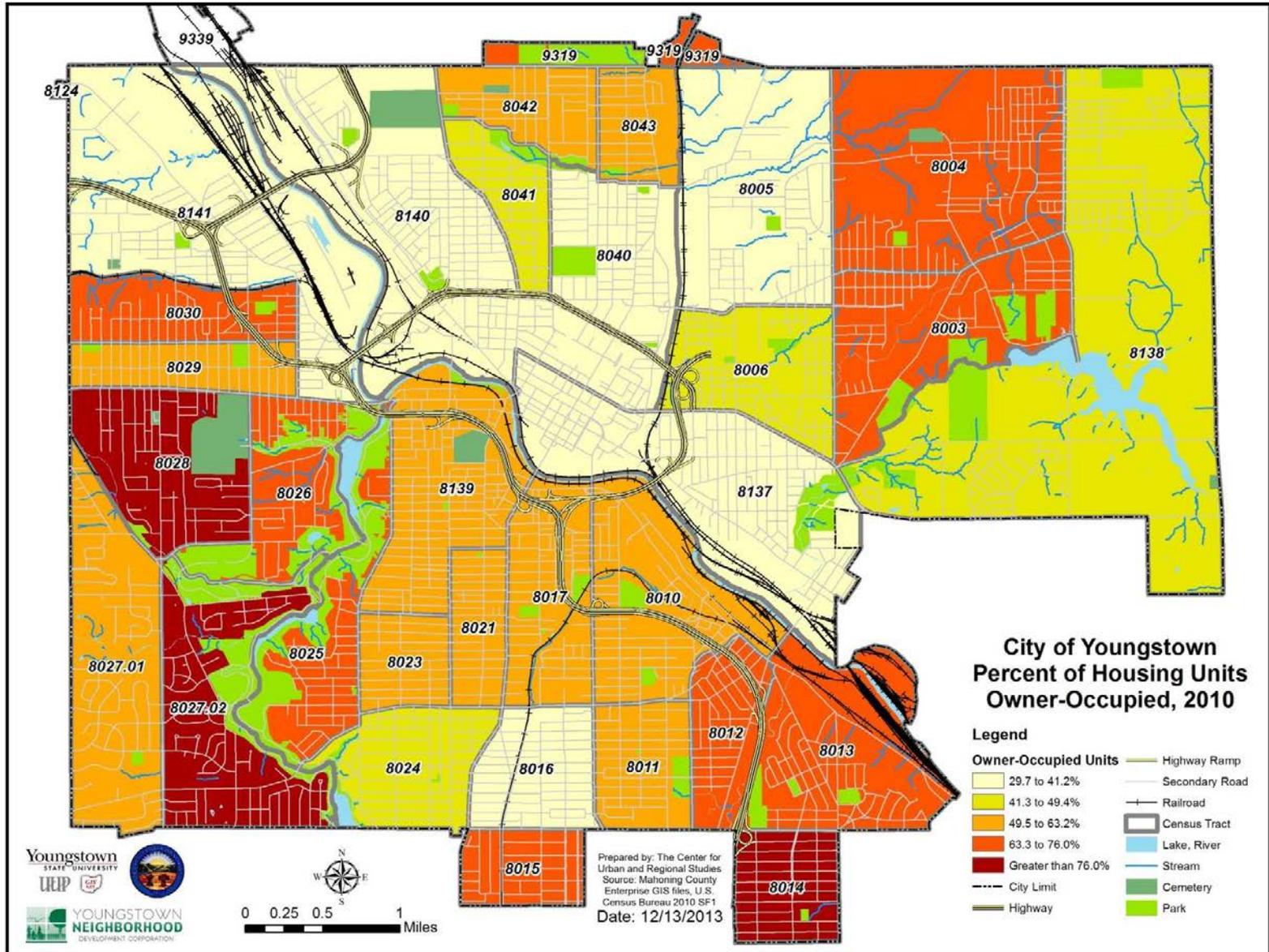
Median Household Income 2011

High – **Red/Orange**
Low – **Beige/Yellow**



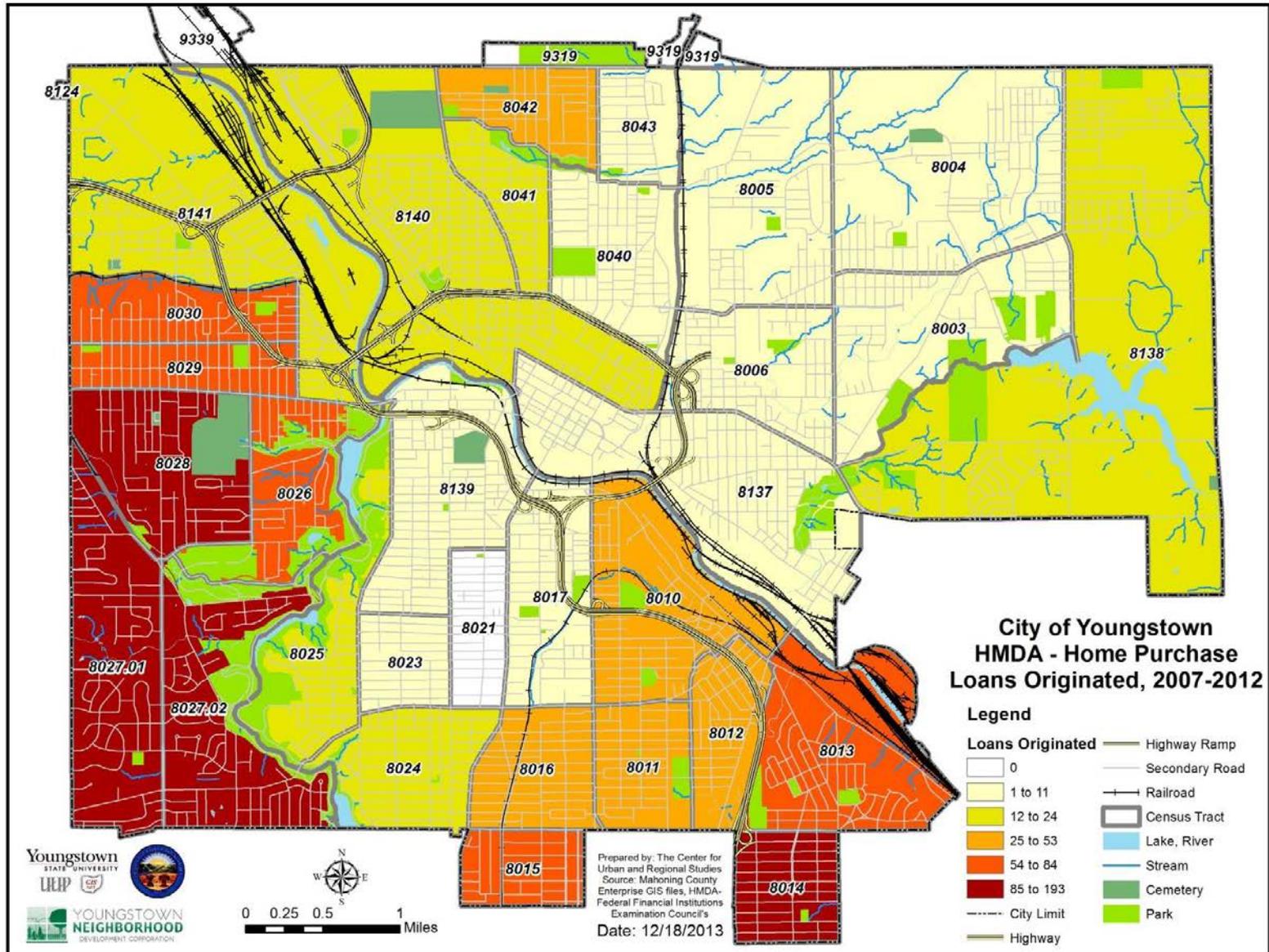
Owner-Occupancy Rates 2010

High – **Red/Orange**
Low – **Beige/Yellow**

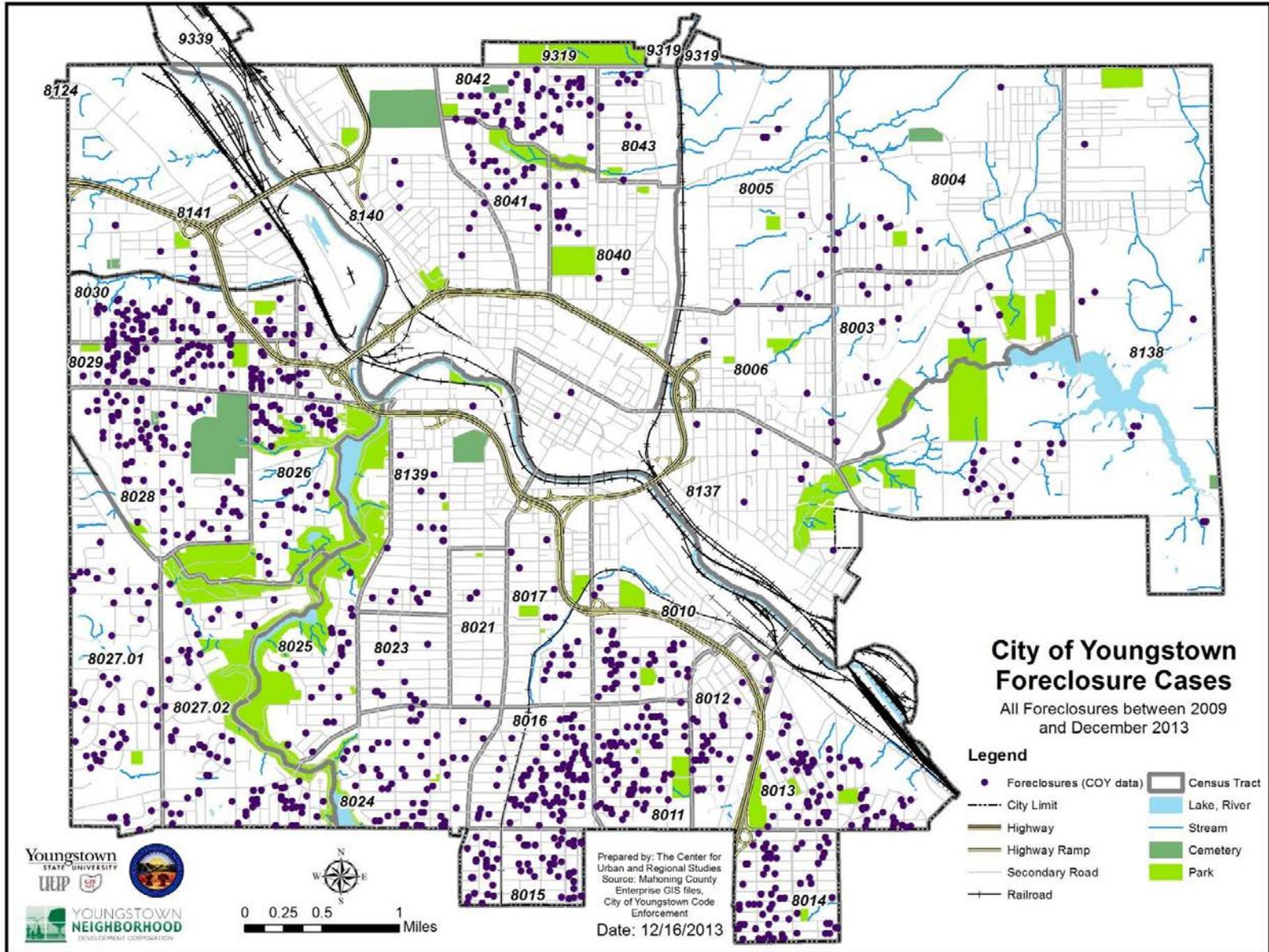


Home Purchase Mortgages 2007-2012

High – **Red/Orange**
Low – **Beige/Yellow**

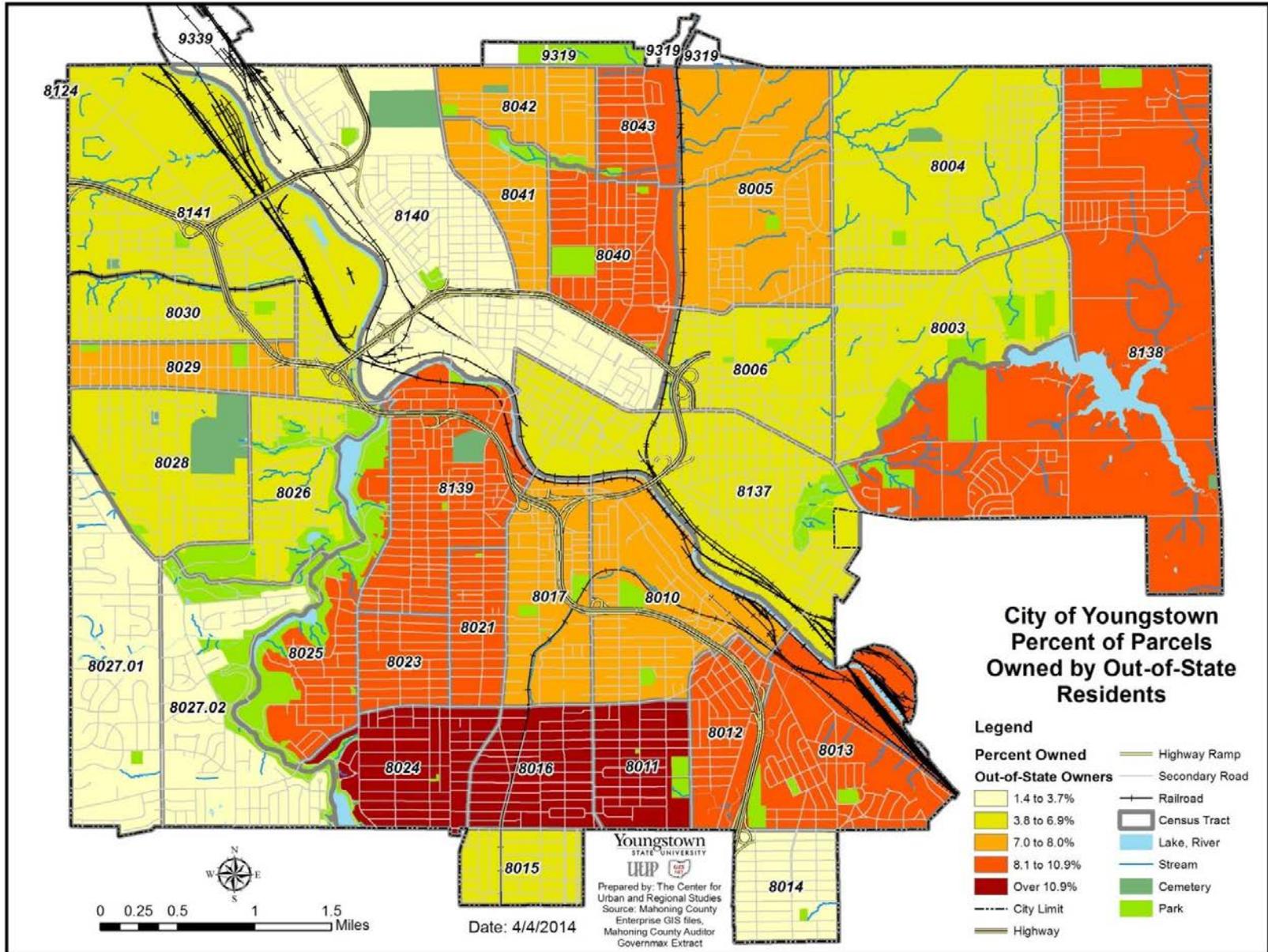


Foreclosure Cases 2009-2013



Out-of-State Ownership 2007-2013

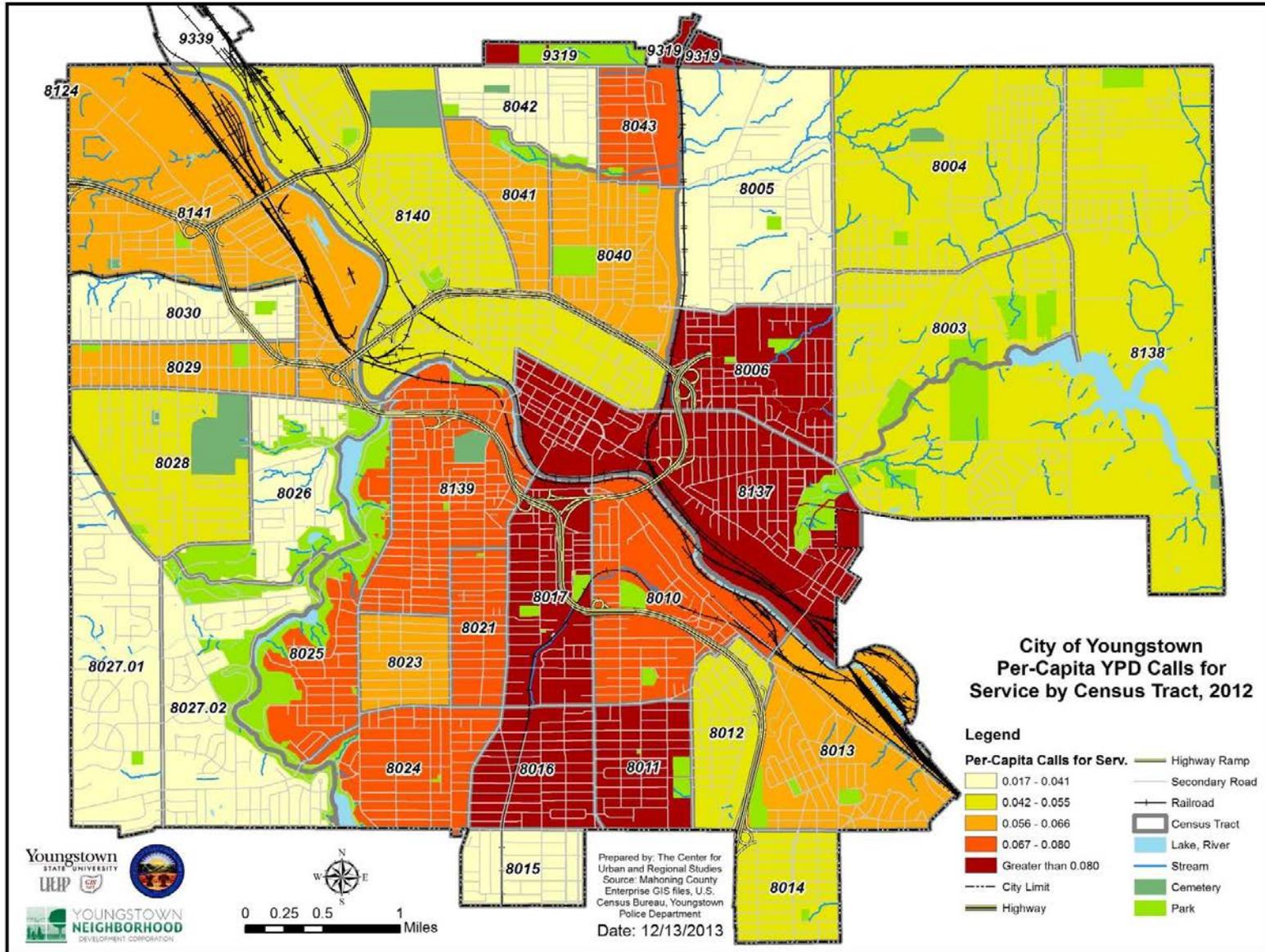
High – **Red/Orange**
Low – **Beige/Yellow**



YPD Calls for Service 2012

Arson, burglary, larceny/theft, motor vehicle theft, aggravated assault, rape, murder, robbery

High – **Red/Orange**
Low – **Beige/Yellow**



Neighborhood Market Analysis

Variables

- Vacancy Rate
- Mortgage Ratio (number of transfers that involve a mortgage)
- Sales Ratio (number of sales compared to total housing inventory)
- Median Sales Price
- Homeownership Rate
- Change in Homeownership Rate
- Calls for Service per 1,000
- Poverty
- Population Loss
- Land Bank Eligibility (two years of tax delinquency)

Market Segmentation Variable Data – Youngstown, Ohio

Census Tract	2010 Census Vacancy Rate	2010-2012 Mortgage Ratio	2012 Sales Ratio	2010-2012 Median Sales Price	2010 % Owner Occupied	1990-2010 Change in % Owner Occupied	2012 YPD Calls / 1,000	2011 Poverty	1990-2010 Population Loss	2014 Land Bank Eligible
Tract 8003	15.9%	8%	3.3%	\$ 10,630	73.0%	-8.6%	9.5	21.3%	-33.9%	35.0%
Tract 8004	18.6%	13%	2.0%	\$ 13,387	76.0%	-4.0%	6.3	46.6%	-46.6%	51.3%
Tract 8005	25.3%	2%	3.3%	\$ 9,309	33.4%	-6.5%	7.5	57.9%	-39.3%	42.0%
Tract 8006	21.9%	0%	3.5%	\$ 5,750	49.4%	-7.2%	19.2	42.6%	-44.7%	37.4%
Tract 8010	23.4%	7%	7.0%	\$ 12,028	56.3%	-20.0%	6.8	42.8%	-34.2%	31.6%
Tract 8011	19.0%	3%	7.5%	\$ 15,364	56.4%	-20.5%	15.0	37.4%	-15.1%	22.7%
Tract 8012	15.6%	8%	6.5%	\$ 18,251	72.9%	-8.8%	6.8	39.6%	-24.6%	25.1%
Tract 8013	15.4%	6%	6.7%	\$ 18,600	66.2%	-14.3%	4.3	39.4%	-22.3%	17.3%
Tract 8014	9.9%	18%	5.0%	\$ 31,131	85.8%	-4.4%	6.2	5.0%	-20.7%	5.6%
Tract 8015	14.4%	16%	6.8%	\$ 26,120	71.6%	-6.8%	3.2	11.3%	-19.7%	12.3%
Tract 8016	32.1%	0%	9.0%	\$ 9,327	41.2%	-24.9%	23.8	45.8%	-34.0%	43.7%
Tract 8017	25.7%	0%	4.1%	\$ 6,027	59.1%	9.3%	17.5	53.6%	-59.4%	44.8%
Tract 8021	23.8%	0%	2.0%	\$ 4,666	54.4%	4.4%	14.9	56.0%	-49.2%	50.2%
Tract 8023	30.5%	3%	3.2%	\$ 8,202	63.3%	-1.8%	9.7	44.0%	-55.5%	51.7%
Tract 8024	28.4%	2%	5.4%	\$ 11,261	45.4%	-9.9%	15.9	32.1%	-40.8%	42.5%
Tract 8025	18.7%	6%	5.3%	\$ 19,048	65.6%	-2.9%	8.6	38.6%	-36.8%	26.0%
Tract 8026	14.6%	22%	5.6%	\$ 30,097	73.8%	-9.6%	2.8	20.1%	-21.4%	13.0%
Tract 8027.01	6.1%	48%	4.1%	\$ 52,657	61.1%	-4.6%	2.2	5.5%	-17.2%	3.8%
Tract 8027.02	7.0%	44%	4.7%	\$ 51,958	84.9%	-6.4%	1.4	1.6%	-15.4%	4.5%
Tract 8028	10.2%	19%	5.4%	\$ 27,078	78.9%	-9.5%	6.6	18.6%	-16.5%	9.4%
Tract 8029	17.1%	4%	5.9%	\$ 17,043	61.2%	-13.6%	8.8	35.7%	-19.0%	18.0%
Tract 8030	12.0%	10%	5.5%	\$ 22,019	74.1%	-12.3%	3.0	23.3%	-18.8%	13.6%
Tract 8040	33.8%	3%	3.9%	\$ 22,623	29.7%	0.8%	14.6	53.2%	-39.8%	36.4%
Tract 8041	18.5%	11%	4.8%	\$ 17,944	49.0%	-15.2%	13.1	28.0%	-34.2%	29.3%
Tract 8042	12.2%	19%	4.2%	\$ 36,020	57.6%	-3.3%	4.5	14.0%	-15.9%	17.3%
Tract 8043	34.9%	0%	4.6%	\$ 9,570	53.8%	3.2%	20.7	38.0%	-58.6%	47.6%
Tract 8137	17.1%	4%	3.1%	\$ 6,067	40.5%	-7.3%	17.4	59.5%	-49.5%	39.2%
Tract 8138	18.7%	3%	2.7%	\$ 23,341	48.7%	-13.8%	9.1	41.4%	-13.8%	41.6%
Tract 8139	23.8%	0%	2.4%	\$ 6,231	55.3%	-8.1%	12.6	50.9%	-50.8%	47.3%
Tract 8140	23.3%	12%	2.9%	\$ 13,939	40.0%	-7.5%	10.2	40.2%	-41.7%	26.8%
Tract 8141	14.4%	1%	4.8%	\$ 15,739	40.6%	-13.2%	3.1	41.1%	-20.8%	26.8%
Youngstown	19.0%	11%	4.9%	\$ 20,958	58.2%	-6.4%	9.6	33.8%	-30.0%	33.0%

Neighborhood Market Types

Stable:

- Housing sales prices are among the city's highest
- Few vacancies
- High number of traditional bank-financed mortgages

Functional:

- Houses generally sell when they come on the market
- Vacancies are manageable
- Housing quality is generally high

****note:** these areas may not have strong market conditions by national standards but they are functioning well by city or regional standards

Neighborhood Market Types

Constrained:

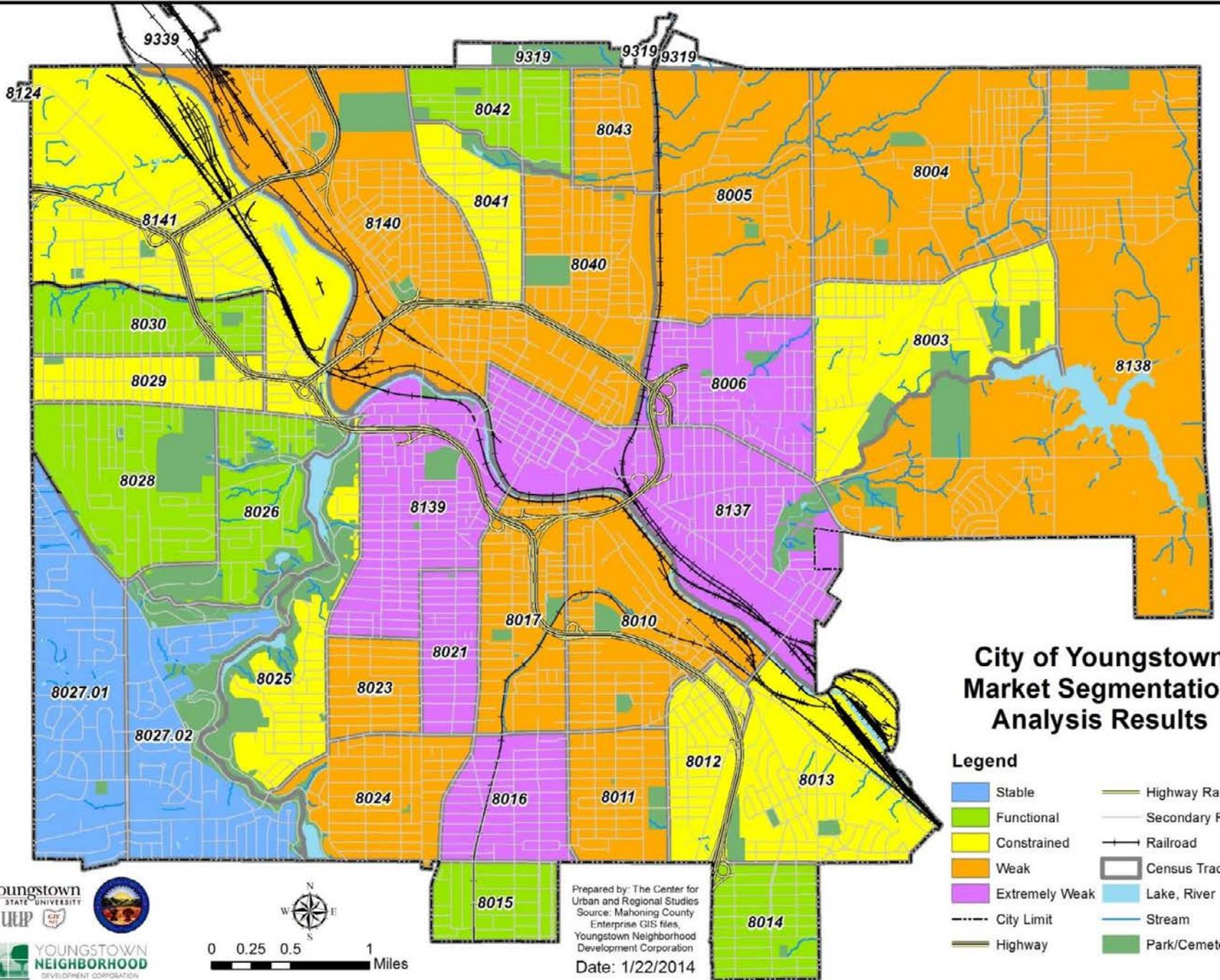
- Houses sell fairly readily
- One or more variables suggests deteriorating market conditions
- Higher vacancy rates

Weak:

- Slower housing turnover rates
- High vacancy rates
- Most variables suggest market weakness

Extremely Weak:

- Minimal sales activity
- Extremely low sales prices
- High vacancy rates



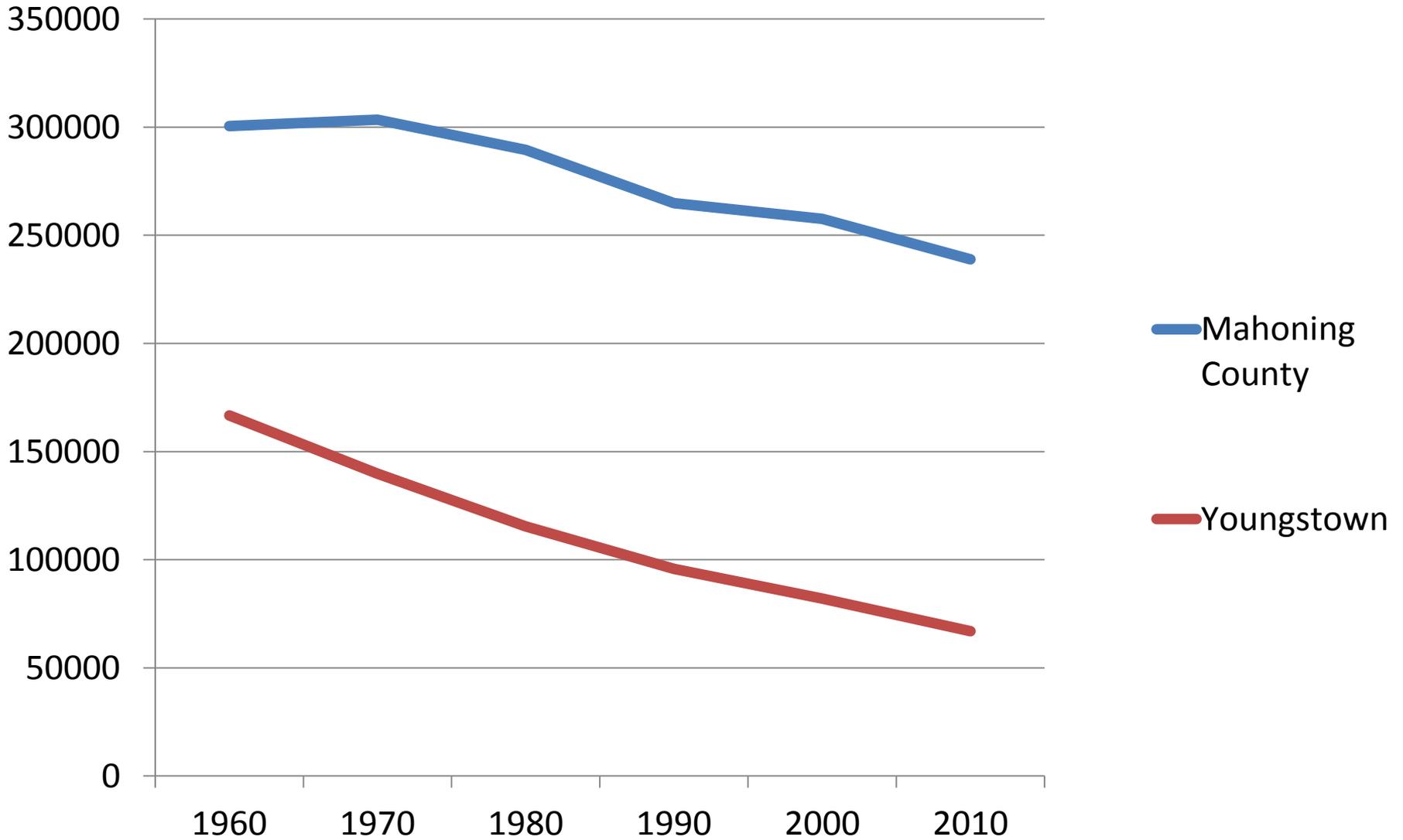
Constraints

City's limited resources

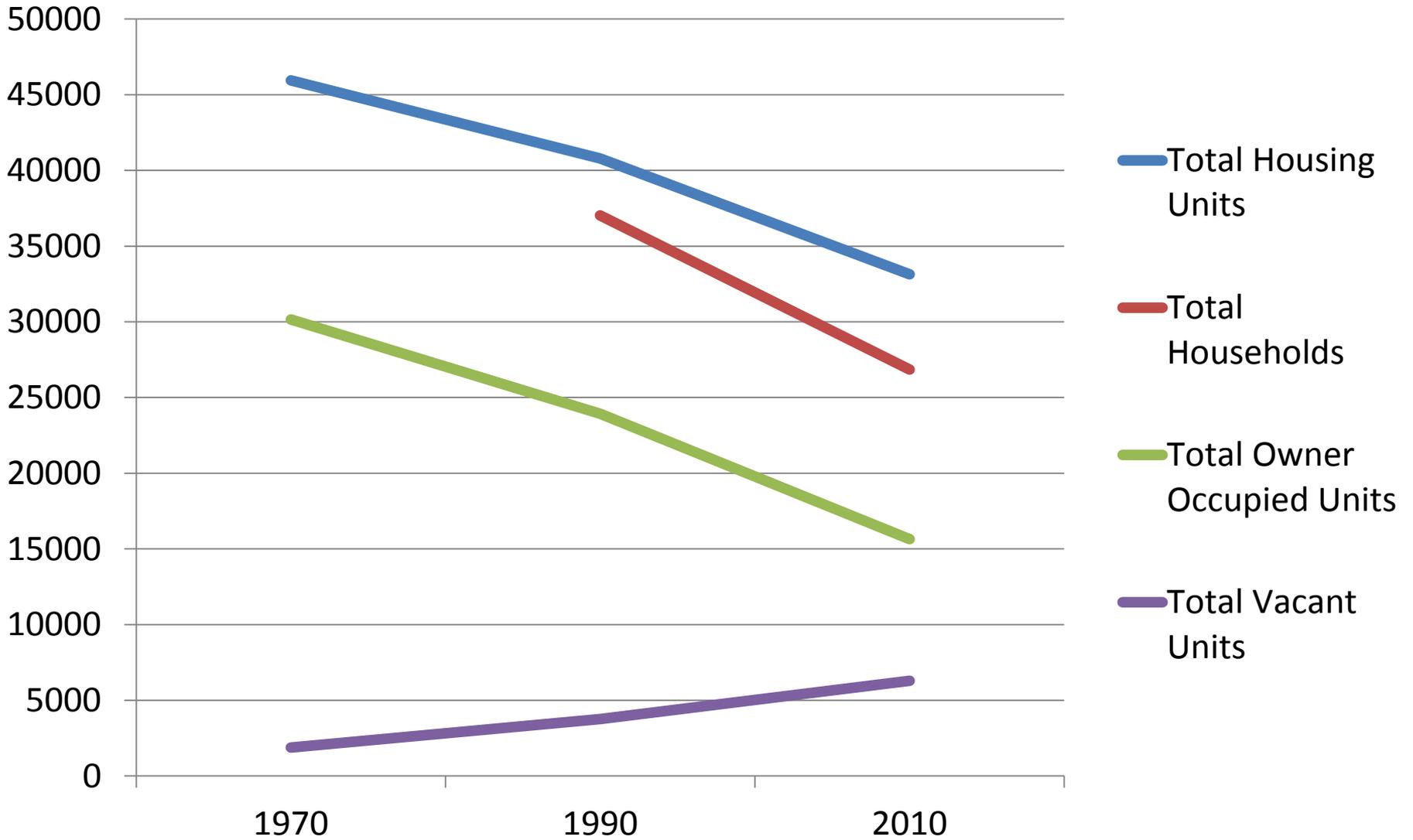
The Youngstown Study by PFM

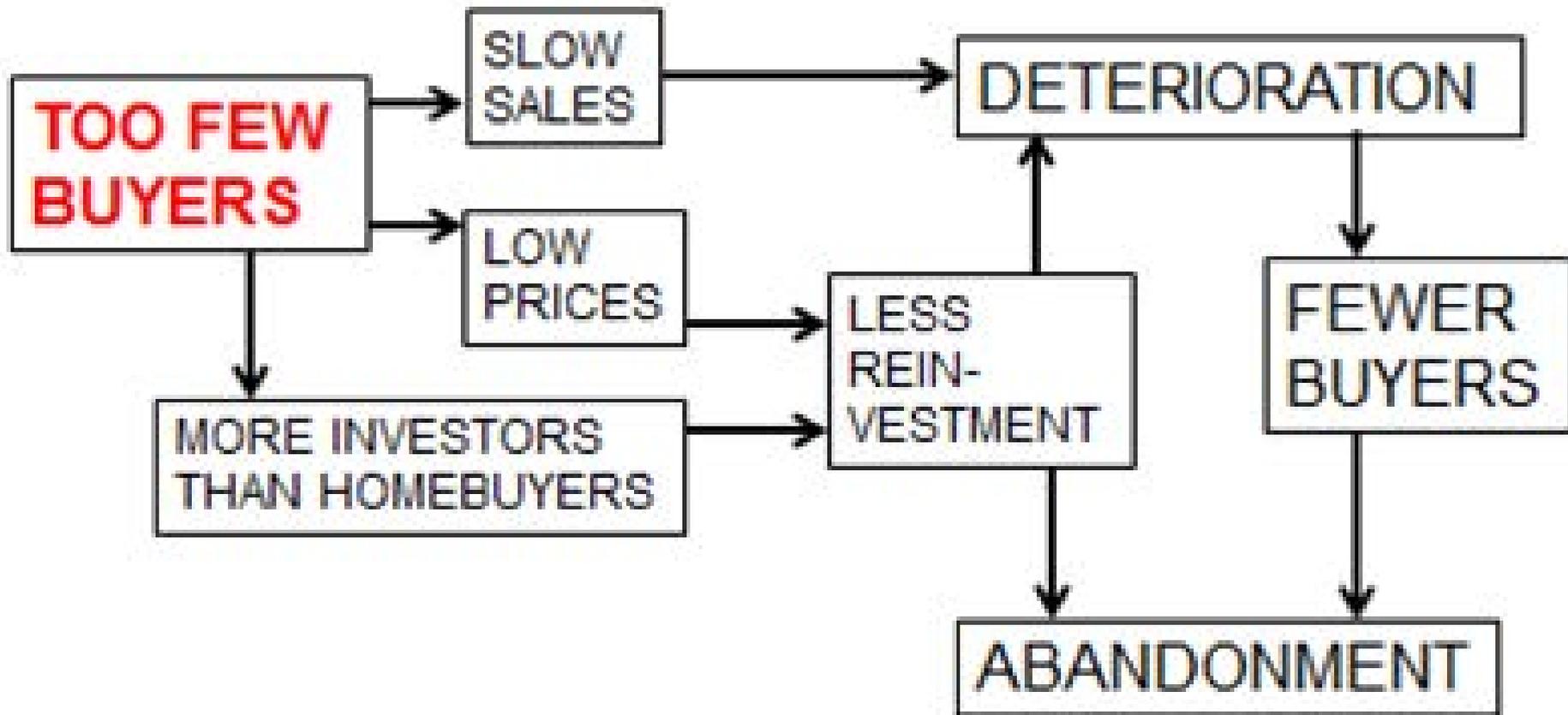
- Overall revenues are expected to decline from 2012-2017 by 1.9% or over \$1.3 million
- Overall expenditures are expected to increase from 2012-2017 by 2.95% or over \$2 million

Population Loss

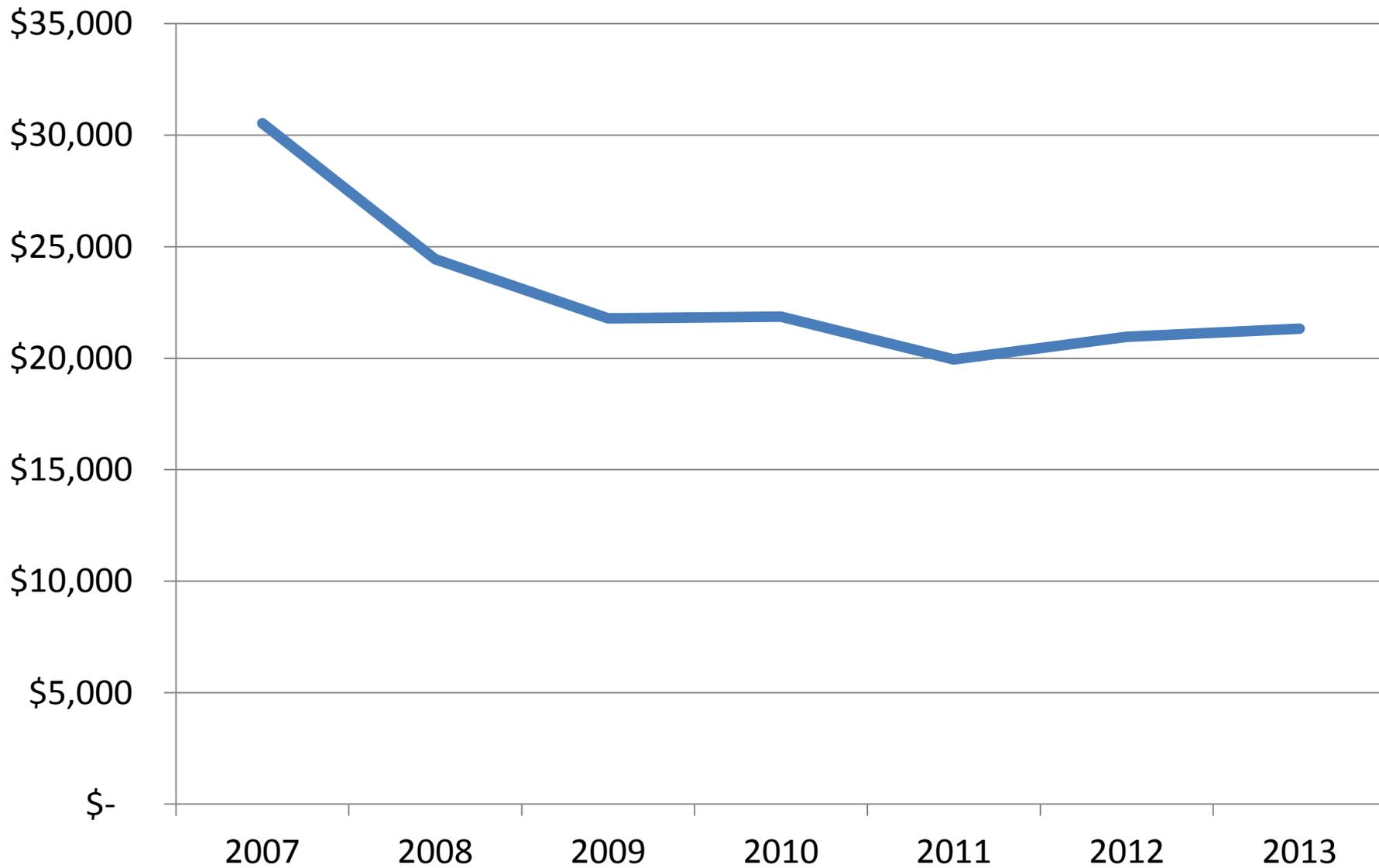


Declining Number of Households and Owner Occupied Units, Increase in Vacancy





Average Home Sales Price



Neighborhood Planning Meetings

Rocky Ridge

Cornersburg

Pleasant Grove

Idora

Brownlee Woods

Oak Hill

Lincoln Knolls

McGuffey Heights

Wick Park

Crandall Park

10 Neighborhood Meetings

450+ Residents Engaged

45 Stakeholder Interviews

1 High School Presentation

1 YSU Presentation



Assets:

Features of the neighborhood that people value and take pride in that we can build on to make the neighborhood stronger.

THE TOP *3* ASSETS IN
THE _____ NEIGHBORHOOD

1 _____

2 _____

3 _____

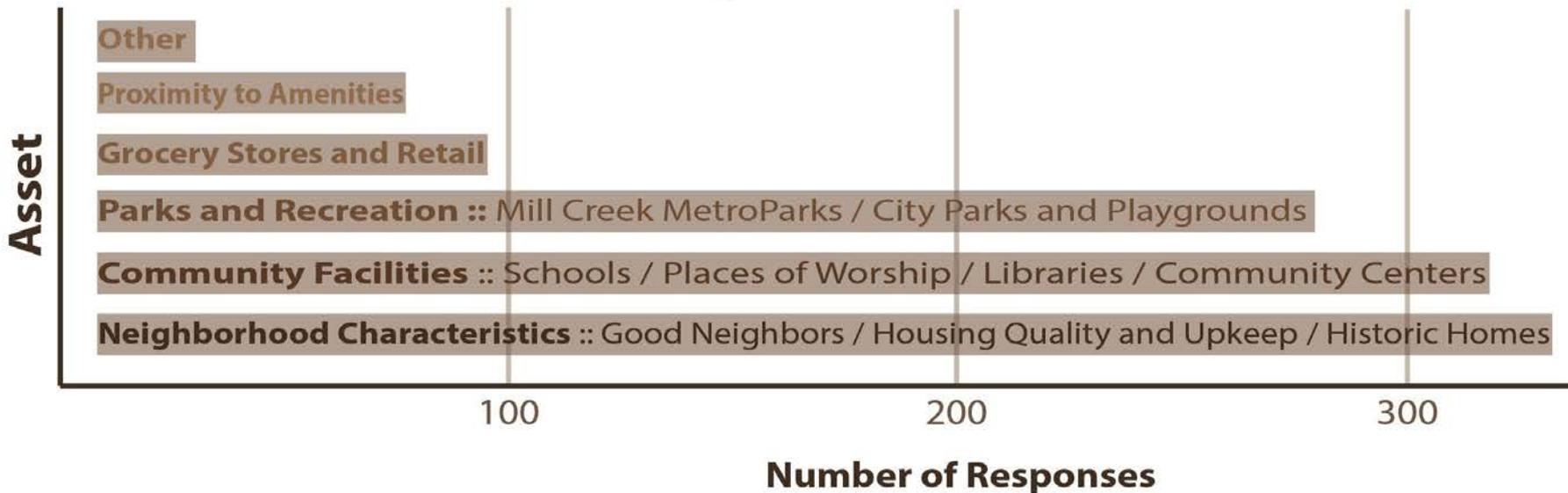
THE TOP **3** ASSETS IN
THE _____ NEIGHBORHOOD

1 _____

2 _____

3 _____

Neighborhood Assets



Citywide Asset #1:

Neighborhood Characteristics

- **Good Neighbors**
- **Housing Quality and Upkeep**
- **Historic Homes**



“the people in the neighborhood really stick together!”

-Lincoln Knolls resident

“the well-built homes that cost less to purchase than comparable homes elsewhere”

-Wick Park resident

Citywide Asset #2:

Community Facilities

- Schools
- Places of Worship
- Community Centers
- Libraries



“newer schools”

-Rocky Ridge resident

“churches accessible to walk to”

-Idora resident

**“proximity to North Side Hospital
and St. Elizabeth’s”**

-Wick Park resident

Citywide Asset #3:

Parks and Recreation

- Mill Creek Park
- City Parks
- Playgrounds



“Crandall Park is one block from my home”

-Crandall Park South resident

“playground (fabulous!) on Glenwood”

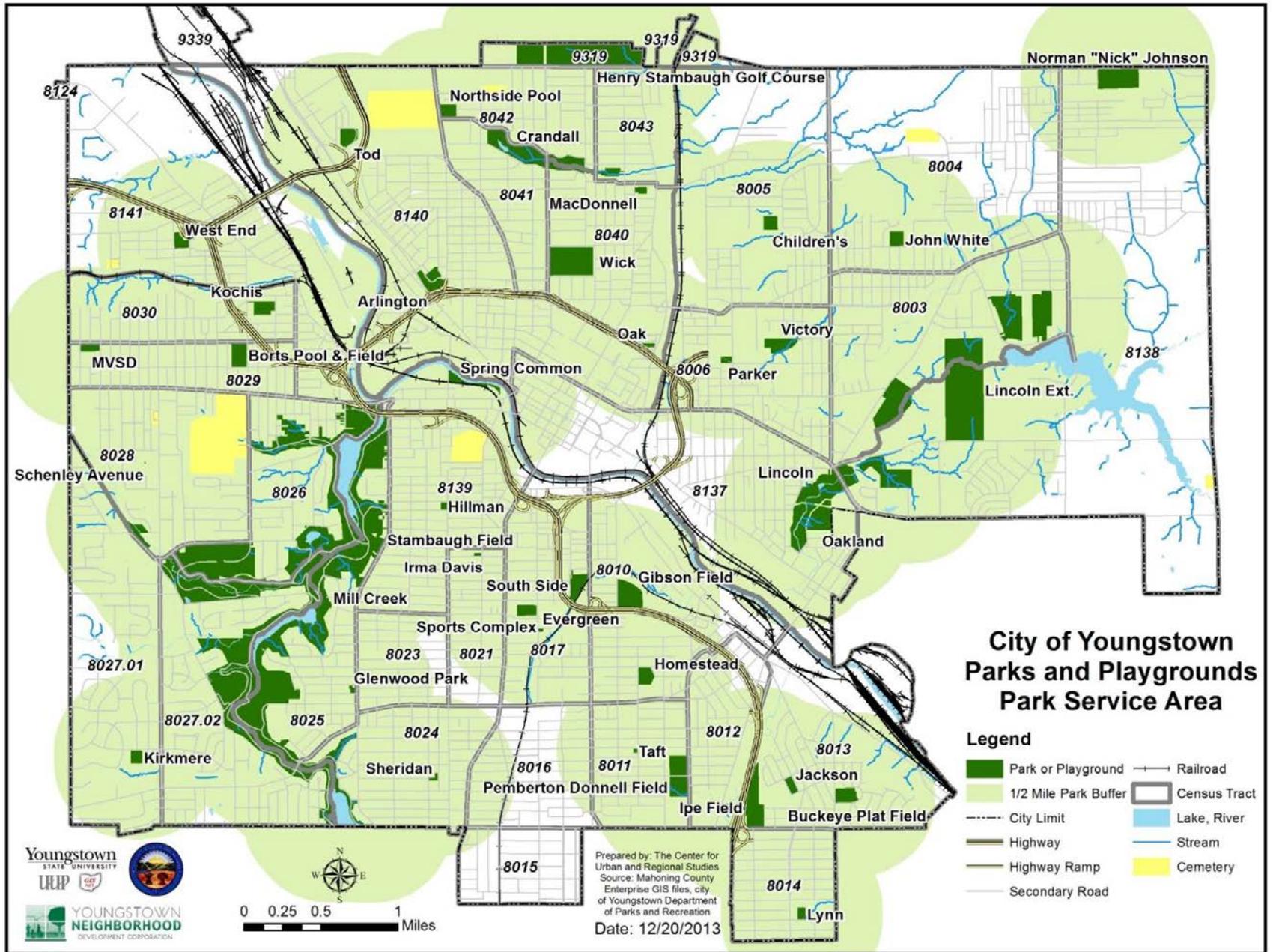
-Idora resident

“sentimental reasons such as parks”

-Rocky Ridge resident



Parks and Playgrounds



Other Citywide Assets

**“open land and wooded areas”
-McGuffey Heights resident**

**“wide streets with lots of trees”
-Boulevard Park resident**

**“diversity of income, age, color,
education, etc”
-Wick Park resident**

**“South Side community garden and
CCA”
-Erie resident**

**“Kitchen Incubator / JOBS + food /
building community since 2003”
-Wick Park resident**

**“busy corridor on Mahoning Avenue”
-Rocky Ridge resident**

**“Handel’s Ice Cream original location”
-Pleasant Grove resident**

**“the 4 empty lots I converted into
garden space”
-Lincoln Knolls resident**

**“views of the city”
-Oak Hill resident**

**“the ‘salt of the earth’ stalwart
neighbors”
-Rocky Ridge resident**

Challenges:

Features/conditions of the neighborhood that should be improved to make the neighborhood stronger.

MY TOP *3* *PRIORITIES* FOR
THE _____ NEIGHBORHOOD

- 1 _____
- 2 _____
- 3 _____

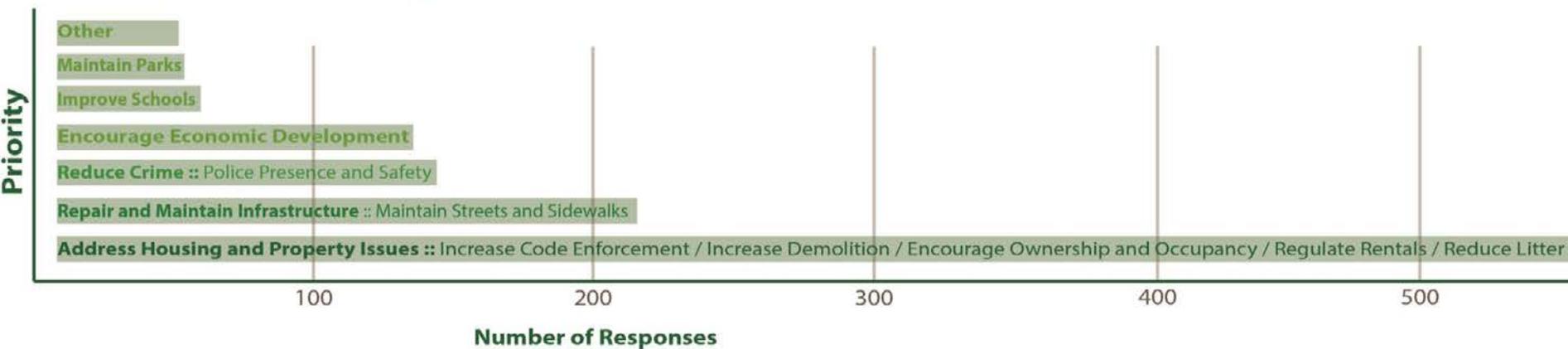
MY TOP **3 PRIORITIES** FOR
THE _____ NEIGHBORHOOD

1 _____

2 _____

3 _____

Neighborhood Priorities



Citywide Priority #1:

Address Housing & Property Issues

- Code Enforcement
- Demolition
- Rental Regulation
- Encourage Occupancy and Homeownership
- Reduce Litter



“demolition of vacant houses on school route”

-Lansingville resident

“property issues: occupied AND unoccupied”

-Rocky Ridge resident

Citywide Priority #2:

Repair and Maintain Infrastructure

- **Maintain Streets**
- **Maintain Sidewalks**
- **Maintain Street Lights**
- **Maintain Street Trees**



**“missing street lights and pot holes”
-Brier Hill resident**

**“sidewalks – and cut down old trees
to prevent damage”
-Lincoln Park resident**

**“sidewalks not very available for
walking”
-Cornersburg resident**

Citywide Priority #3:

Reduce Crime

- More Police Presence
- Increased Safety



“reduce criminal activity – lots of drug dealers (they take advantage of our location)”

-Garden District resident

“quality of life issues – police enforcement”

-Lansingville resident

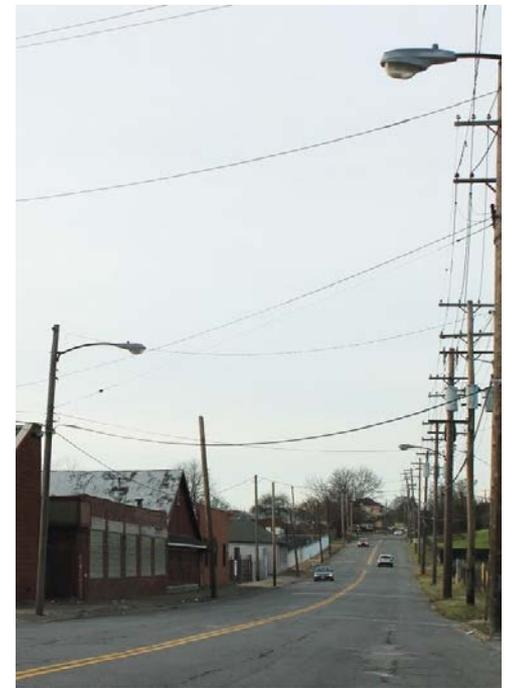
“vandalism of vacant properties (theft of architectural details)”

-Wick Park resident

Citywide Priority #4:

Encourage Economic Development

- Create Businesses
- Create Employment
- Improve Corridors



**“jobs for residents on the east side –
manufacturing, businesses, stores”**
-McGuffey Heights resident

“condition of main corridors”
-Wick Park resident

“concentrated poverty”
-Newport resident

Other Citywide Priorities

“do not allow fracking”

-North Side resident

“number of stray animals loose in the neighborhood”

-Idora resident

“help with home repairs so people can stay in their homes and keep them up to code”

-McGuffey Heights resident

“affordable SAFE rentals for generation X-ers – they are NOT looking to buy”

-7th Ward resident

“street signs not uniform within city”

-Brier Hill resident

“a plan that includes factors of race and education”

-North Heights resident

“raise academic standing of city schools”

-Rocky Ridge resident

“water back ups”

-East Side resident

“parks and playgrounds for the multitude of our children”

-Cottage Grove resident

“provide help in saving large houses...before it's too late”

-Wick Park resident

TELL US *1* THING WE NEED TO KNOW

Themes:

- **Housing/Property Issues**
- Building Neighborhood Capacity
- **Crime and Safety**
- Politics/Local Government
- **Economic Development**
- Comments/suggestions for Planning Process
- **Infrastructure Issues**
- Schools/Youth Activities
- Protecting the Environment

TELL US *1* THING WE NEED TO KNOW

“we all know what you are talking about”

-East Side resident

“there are still people who LOVE Youngstown!! make sure everyone has a voice!!”

-Wick Park resident

“we have talked about the very “same” issues for 20 years! and still no changes for the better.”

-7th Ward resident

“keep in mind how we got here, i.e. harmful laws and policies that keep people from living whole and healthy lives , like the war on drugs or collateral sanctions”

-Wick Park resident

“we need redistricting ASAP”

-Rocky Ridge resident

“most of Lansingville neighbors left because of city SCHOOLS. if schools are not fixed, we will NOT have good neighborhoods”

-Lansingville resident

“I’m 8 years old and there’s no stuff to do where I live. Like bowling or skating”

-North Side resident

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Public engagement process to prioritize issues at the city and neighborhood levels

- Meetings with city officials and stakeholders
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- A Community Input Report
- Align CDBG allocation with identified priorities

Development of citywide strategies that will positively impact all neighborhoods

Download the full Neighborhood Conditions Report at
<http://yndc.org/news-media/NCR>

or

<http://www.cityofyoungstownoh.com/>

Also available in hard copy at all branches of the public library in the City of Youngstown.

The conditions report is also available for purchase for \$25.

For more information contact:

YNDC

Tom Hetrick

thetrick@yndc.org

330.480.0423

Youngstown Planning

Karen Perkins

kperkins@cityofyoungstownoh.com

330.742.8837

Questions?